

**HOWELL TOWNSHIP PLANNING COMMISSION
REGULAR MEETING**

3525 Byron Road
Howell, MI 48855
April 28, 2026
6:30 pm

1. Call to Order
2. Roll Call: () Wayne Williams - Chair () Matt Stanley
 () - Vice Chair () Trent Holman
 () Sharon Lollo - Secretary () Cory Alchin
 () Tim Boal - Board Rep. () Dan Bonello
3. Pledge of Allegiance
4. Approval of the Agenda:
 Planning Commission Regular Meeting: April 28, 2026
5. Approval of the Minutes:
 A. Regular Meeting March 24, 2026
6. Call to the Public:
7. Zoning Board of Appeals Report:
8. Township Board Report:
 Draft Meeting Minutes April 13, 2026
9. Ordinance Violation Report: March Permit List and Ordinance Violation Report
10. Scheduled Public Hearings:
11. Other Matters to be Reviewed by the Planning Commission:
 A. Appointment of New Vice-Chairperson
12. Business Items
 A. Old Business:
 1. PC2026-02 Michigan Underground Specialists (Ditch Witch), 3401 W. Grand River Ave.,
 Preliminary Site Plan Review

 B. New Business:
 1. PC2026-03 RMB Commercial LLC, 4590 W. Grand River Ave., Preliminary and Final
 Site Plan Review
13. Call to the Public:
14. Adjournment

HOWELL TOWNSHIP PLANNING COMMISSION
REGULAR MEETING MINUTES
3525 Byron Road Howell, MI 48855
March 24, 2026
6:30 P.M.

MEMBERS PRESENT:

Sharon Lollo	Secretary
Tim Boal	Board Representative
Trent Holman	Commissioner
Cory Alchin	Commissioner

MEMBERS ABSENT:

Wayne Williams	Chair
Matt Stanley	Commissioner

ALSO IN ATTENDANCE:

Township Planner Paul Montagno, Applicant Ryan Joss with Elmhurst Street LLC, Scott Peruski from Kimley-Horn Civil Engineering, Brandon Guest from M/I Homes and Zoning Administrator Jonathan Hohenstein

Secretary Lollo called the meeting to order at 6:30 pm. The roll was called. Secretary Lollo requested members rise for the Pledge of Allegiance.

APPROVAL OF THE AGENDA:

Suggested by Board Representative Boal to switch New Business Items 1 and 2, to move EV Go in front of Heritage Square. **Motion** by Boal, **Second** by Holman, **“To approve the agenda.”** Motion carried.

APPROVAL OF THE MEETING MINUTES:

February 24, 2026

Motion by Boal, **Second** by Alchin, **“To approve the minutes as presented.”** Motion carried.

CALL TO THE PUBLIC

Angela Barbash, 4211 Crandall Rd.- Spoke on noise levels/decibels

Dan Wholihan, 8162 Majestic Blvd- Spoke on Data Centers

ZONING BOARD OF APPEALS REPORT:

None

TOWNSHIP BOARD REPORT:

Draft minutes are included in the packet: Board Representative Boal gave an overview of the meeting. There was a lawsuit McCririe vs Howell Township regarding a denied rezoning on Tooley Rd., MHOG will be branching out as their own entity, there was a sewer/water rate discussion and the debt fee on the water rate was removed which will reduce water rates, future road projects in the Township were discussed, Township emails for Trustees and Planning Commission members are being considered , Rob Spaulding was appointed as Supervisor and revision of Resident Research Committee members was approved.

ORDINANCE VIOLATION REPORTS:

Report in packet. Secretary Lollo questioned complaint regarding construction activity on Pinecroft Lane in Pine View Village.

SCHEDULED PUBLIC HEARINGS:

- A. PC2026-05: Elmhurst St. LLC, Request to Rezone Parcel # 4706-22-100-014, Vacant Land from Agricultural Residential (AR) to Single Family Residential (SFR)- Township Planner Montagno gave an overview of the property and answered questions. It is about 22.7 acres at the intersection of Tooley Rd. and Bowen Rd. in the Agricultural Residential Zoning, they are looking to rezone to Single Family Residential. They have provided a concept plan which currently shows 44 proposed homes. Future Master Plan is intended for the site to be Residential- medium density zoning. The parcel is within the planned municipal sewer and water district. Applicant Ryan Joss with Elmhurst Street LLC spoke on his project and answered questions. **Motion** by Holman, **Second** by Boal, **“To Open the public hearing.”**

Mark Gorski, 2990 Bowen Rd.- Questioned number of houses proposed

Rod Rouse, 2484 Tooley Rd.- Spoke on opposition of development due to roads and amount of water flow that is in the area

Angela Barbash, 4211 Crandall Rd- Spoke on opposition of development due to roads and power grid

Chuck Frantjeskos, 3353 Bowen Rd- Spoke on concerns with traffic and the gravel roads

Steve Ripper, 2851 Bowen Rd- Spoke on concerns with infrastructure and development

Michael Wetherbee, 2520 Tooley Rd- Spoke on concerns with infrastructure and water flow

Motion by Boal, **Second** by Alchin, **“To close the public hearing.”** Motion carried.

Board Representative Boal questioned conditional rezoning procedure and voiced his concerns with the gravel roads. Secretary Lollo questioned if a condition to the rezoning could include only a certain amount and/or affordable homes. Commissioner Alchin questioned if it is possible to have conditional rezoning that includes certain aspects of development. Commissioner Holman voiced his concerns with infrastructure. Discussion followed. **Motion** by Boal, **Second** by Holman, **“To deny the request to rezone parcel # 4706-22-100-104, PC2026-05 to do a request to recommend denial to the Township Board. Concerning the public infrastructure of the roads, not being able to handle that amount of future project.”** Roll Call: Alchin-yes, Lollo-yes, Holman-yes, Boal-yes. Motion passes 4-0.

OTHER MATTERS TO BE REVIEWED BY THE PLANNING COMMISSION:

- A. Livingston County Planning’s Quarterly Newsletter- Information provided
- B. Email Accounts and Document Retention Information-Zoning Administrator Hohenstein reported that the Township Board is considering providing email accounts for Trustees, Planning Commission and Zoning Board of Appeals members and document retention information is provided in the packet by Township Clerk Daus.
- C. Planning Commission Subcommittee Report- Report in packet.

- D. Appointment of new Vice-Chairperson- **Motion** by Boal, **Second** by Lollo, **“To postpone Item 11D, appointment of new Vice-Chairperson for the Planning Commission until our next meeting.”** Motion carried.
- E. Livingston County’s Master Plan Notice- Information in packet

OLD BUSINESS:

None

NEW BUSINESS:

1. PC2026-04: EV Go, Amendment to Approved Site Plan, 1475 N. Burkhart Rd.- Planner Montagno gave a brief overview, the applicant would like to amend the previous site plan and change the location of the EV charging stations at Kensington Valley Outlets. Representative Scott Peruski from Kimley-Horn Civil Engineering answered questions. Board Representative Boal questioned the type of lighting in the parking lots. **Motion** by Boal, **Second** by Lollo, **“To approve PC2026-04, EV Go Amendment to approved site plan at 1475 N. Burkhart Rd.”** Motion carried.
2. PC2026-01: Heritage Square (M/I Homes) PUD Phase II Final Site Plan Review, Parcel# 4706-32-400-016- Planner Montagno gave an overview of the project and answered questions. The project is a Multi-Phase Development the was originally approved in 2024 with Amendments in 2025. The final PUD plan was laid out in phases and the Final Site Plan for phases two and three were reviewed from the previous approved PUD plan and what they are proposing is consistent with the layout and design. Representative from M/I Homes Brandon Guest gave an overview of their project and answered questions. They will provide lighting and landscaping plans at their next submittal for review. They still need to acquire a Soil Erosion Permit, but all other permits have been received and are hoping to have a model home completed in June this year. Commissioner Alchin questioned if there has been a road study completed on the impact of the number of homes and traffic that will affect the Burkhart and I-96 interchange. Board Representative Boal questioned if there was an engineer’s report, how many roads in the subdivision were between 20-26 feet, if residents would be allowed to park on the road and if M/I Homes had any concerns with the Fire Marshall report. Discussion followed. **Motion** by Holman, **Second** by Lollo with friendly amendments, **“To approve PC2026-01, Heritage Square M/I Homes PUD phase two and three, Final Site Plan review Parcel #4706-32-400-016 conditional upon final engineering report and landscaping and Fire Marshall confirmation.”** Motion carried.
3. PC2026-06: Temporary Use- Various Craft Shows, 1475 N. Burkhart Rd.- Planner Montagno gave an overview of the Temporary Use request. The applicant is looking to hold a craft show in the Center Court of the Kensington Valley Outlet Mall. These events will take place May 30th and 31st, August 29th and 30th, September 26th and 27th, and October 24th and 25th but no hours of operation were noted for when the events will take place. If any signs are present a Sign Permit will be required from the Zoning Administrator. Applicant Kaitlyn Showich gave an overview of craft show times, food trucks, bathroom facilities and trash disposal. Secretary Lollo questioned how they will block off the food truck area and how trash will be disposed of. Commissioner Holman questioned if the food trucks would be responsible for their own trash disposal and containers. Board Representative Boal questioned if there were any concerns with the conditions or concerns from the Planner’s report and how many people they expect to attend. **Motion** by Holman, **Second** by Lollo with friendly amendments, **“To approve PC2026-06 Temporary Use various craft shows at 1475 N. Burkhart Rd. subject to conditions of the Planners report as presented.”** Motion carried.

4. Resident Research Committee- Decibel Limits and Noise Research: Information in packet. Kristin Dennison spoke on their research of decibel limits and noise.

CALL TO THE PUBLIC:

Lorena Ermacora, 1807 Oak Squire Lane- Spoke on extending data center moratorium

Angela Barbash, 4211 Crandall Rd- Spoke on possible Native American burial site in Township and extending the moratorium

Todd Kozakiewicz, 6205 Raddatz- Spoke on noise of data centers

ADJOURNMENT:

Motion by Boal, **Second** by Holman, **“For adjournment.”** Motion carried. The meeting was adjourned at 8:40 P.M.

Date

Sharon Lollo
Planning Commission Secretary

Marnie Hebert
Recording Secretary

**HOWELL TOWNSHIP REGULAR BOARD
MEETING MINUTES**

3525 Byron Rd. Howell, MI 48855

April 13, 2026

6:30 P.M.

MEMBERS PRESENT:

Robert Spaulding Supervisor
Jonathan Hohenstein Treasurer
Matthew Counts Trustee
Tim Boal Trustee
Bob Wilson Trustee

MEMBERS ABSENT:

Sue Daus Clerk

Also in Attendance:

17 people signed in

Supervisor Spaulding called the meeting to order at 6:30 p.m. The roll was called. Supervisor Spaulding requested members rise for the Pledge of Allegiance.

CALL TO THE BOARD:

Treasurer Hohenstein requested that Agenda Item 10-O, Trustee, be added to the Reports section and Agenda Item 7-E, Road Projects, be added to Unfinished Business.

APPROVAL OF THE AGENDA:

April 13, 2026

Motion by Hohenstein, **Second** by Counts, **“To accept with amendments.”** Motion carried.

APPROVAL OF BOARD MEETING MINUTES:

March 10, 2026

REGULAR BOARD MEETING MINUTES

Trustee Boal requested that discussion regarding North Truhn Road be included in the meeting minutes.

Motion by Hohenstein, **Second** by Boal, **“To accept the Board minutes from March 10, as amended.”**

Motion carried.

CALL TO THE PUBLIC:

Debbie Mannisto, 2330 Tooley Rd.: Spoke on Tooley Rd. property development, Township Master Plan, McCrie lawsuit.

Angela Barbash, 4211 Crandall Rd.: Spoke on Township financials, the moratorium, ordinance adoption, revenue concentration risk, technology obsolescence, and ordinance enforcement.

Ryan Kott, 222 Bain Dr.: Spoke regarding a dispute with Township Trustee Wilson and related concerns.

Mark Gatesman: Introduced himself and announced that he is running for Livingston County’s 44th Circuit Court judgeship.

UNFINISHED BUSINESS:

- A. Amend Resolution 02.26.261 to Resolution 02.26.561
Motion by Hohenstein, **Second** by Boal, **“To amend the resolution number of resolution 02.26.261 passed on February 9, 2026 to have the resolution number be 02.26.561.”** Motion carried.
- B. IT Updates
Mann IT representatives Aj Russo and Doug Fuller, along with Deputy Treasurer Murrish, presented and discussed IT options with the Board and responded to inquiries. Topics included internet services, server infrastructure, website management, and Township Board email systems.
- Internet Services – **Motion** by Wilson, **Second** by Fulton, **“To accept the plan for a better internet speed.”** Motion carried.
- Server – Deputy Treasurer Murrish explained the options under consideration were to either purchase of a new server or to transition to a cloud-based infrastructure. Aj Russo answered the Board’s questions. It was the consensus of the Board to table the decision until next month to allow for additional information.
- Phone Security and Flexibility Concerns – **Motion** by Counts, **Second** by Hohenstein, **“To accept the quote from Mann IT, option 2, Voice over IP desktop phone leasing phones with an annual fee of \$4078.44.”** Motion carried.
- Budget Amendment – **Motion** by Hohenstein, **Second** by Counts, **“To increase account 101-265-728.001 Township Hall IT Support Expense by \$350.00 for the one time lease fee for 13 phones, installing, and training. Increase account 101-265-728.001 Howell Township Hall IT Support Expense by \$843.24 per year for VoIP annual monthly fee.”** Motion carried.
- Email Addresses – **Motion** by Hohenstein, **Second** by Boal, **“To accept the creation of email accounts for all elected and appointed members of the Township and for the creation of the FOIA account billed annually at \$1344.00.”** Motion carried.
- Budget Amendment – **Motion** by Counts, **Second** by Fulton, **“To increase account 101-265-728.001 Township Hall IT Support Expense by \$1411.20 annually for 14 new email accounts.”**
- Website – **Motion** by Hohenstein, **Second** by Boal, **“To accept the quote from STG for the Gold package to create a new Township Website that is ADA compliant.”** Motion carried.
- Budget Amendment – **Motion** by Hohenstein, **Second** by Fulton, **“To increase account 01-265-851.000 Township Hall Web Expenses by \$3295.00 to upgrade the Township Website including ADA compliance and increase Account 101-265-851.000 Township Web Expenses by \$750.00 for the annual hosting and support plan.”** Motion carried.
- C. Howell-Mason v. Howell Township
Supervisor Spaulding reported that the court documents for Howell-Mason v. Howell Township were included in the packet for the Board’s review.

- D. William McCririe v. Howell Township
Supervisor Spaulding reported that the court documents for William McCririe v. Howell Township were included in the packet for the Board's review.
- E. Road Projects
Supervisor Spaulding reported that he contacted Laura Eisele, Handy Township Clerk, regarding cost sharing for North Truhn Road maintenance. She indicated that all of Handy Township's road funds have already been allocated, and the township does not have available funds to participate in cost sharing for this project at this time. The Board reached a consensus to postpone the North Truhn Road project until next year and to discuss future cost-sharing opportunities with Handy Township.

NEW BUSINESS:

- A. Road Chloride Quote
Treasurer Hohenstein reported on the road chloride application. The new quote includes a notation stating that the quoted price may be amended as necessary, and that Chloride Solutions will notify the Township at least 15 days in advance of any additional price surcharge. **Motion** by Counts, **Second** by Hohenstein, **"To approve the quote from Chloride Solutions for dust control well brine at the presented rate, no more than two (2) applications."** Discussion followed. Motion carried.
- B. Livingston County Master Plan Notice
Provided as informational for Board review.
- C. Resolution Road Millage Renewal
Motion by Counts, **Second** by Hohenstein, **"To approve Resolution 04.26.562, as presented."**
Roll call vote: Wilson – yes, Counts – yes, Boal – yes, Fulton – yes, Hohenstein – yes, Spaulding – yes. Motion carried.
- D. Planning Commission Appointment to Open Seat
Supervisor Spaulding invited the applicants who applied for the Planning Commission seat to stand and introduce themselves. Maureen Heikkinen introduced herself. Jim McEvoy introduced himself. Dan Bonello introduced himself. **Motion** by Spaulding, **Second** by Boal, **"To appoint Dan Bonello for the open PC seat, term length through December 31, 2028."** Roll call vote: Fulton – yes, Boal – yes, Wilson – yes, Counts – no, Hohenstein – no, Spaulding – yes. Motion carried. Discussion followed regarding the correction of appointment terms. **Motion** by Counts, **Second** by Hohenstein, **"To extend Cory Alchin's seat on the Planning Commission to December 2028."** Motion carried.
- E. Financial Report – Deputy Supervisor Kilpela
Deputy Supervisor Kilpela gave an overview of the Township Revenue and Expenditure report ending March 31, 2026, discussed the general fund, legal fees, road fund, park/rec fund, sewer/water fund, and requested a budget amendment to decrease the utility billing water user fees. **Motion** by Counts, **Second** by Hohenstein, **"To decrease utility billing water usage fees income by \$90,000.00 to account for eliminating the debt fee."** Discussion followed. Motion Carried.

CALL TO THE PUBLIC:

Rob Spaulding: Spoke on his appointment as Supervisor, Spring clean-up advertising.

REPORTS:

- A. SUPERVISOR:
No report
- B. TREASURER:
See Treasurer Hohenstein's prepared report
- C. CLERK:
No report
- D. ZONING:
Trustee Wilson discussed the Brewer Road drainage issue and a conflict with Ryan Kott.
Trustee Boal inquired about the progress of the clean-up at 5057 Warner Road.
Zoning Administrator Hohenstein reported that the Township has received a complaint about engine braking on Oak Grove Road.
- E. ASSESSING:
See Assessor Kilpela's report
- F. FIRE AUTHORITY:
Supervisor Spaulding reported on Fire Authority
- G. MHOG:
Trustee Counts reported on MHOG
- H. PLANNING COMMISSION:
Motion by Boal, **Second** by Hohenstein, with friendly amendments, **"Request that the PC Members that are attending the data center subcommittee meetings be compensated at their regular rate for all meetings attended."** Discussion followed. The Board reached a consensus that no compensation will be provided to Trustee Boal. Motion carried.
- I. ZONING BOARD OF APPEALS (ZBA):
No report
- J. WWTP:
Motion by Hohenstein, **Second** by, Counts, **"To accept the Dell Technologies computer replacement and the CSM Mechanical quote for the check valve for pump station 71."** Motion carried.
- K. HAPRA:
See Clerk Daus's report
- L. PROPERTY COMMITTEE:
No report

M. PARK & RECREATION COMMITTEE:

No report

N. SHIAWASSEE RIVER COMMITTEE:

No report

O. TRUSTEE:

Trustee Boal reported that he and Trustee Fulton attended the MTA County Conference for a data center presentation.

CLOSED SESSION:

Motion by Hohenstein, **Second** by Counts, **“To enter into closed session to discuss the potential purchase of Township property per MCL 15.2681(d).”** Motion carried.

Motion by Spaulding, **Second** by Hohenstein, **“To enter back into open session.”** Motion carried.

DISBURSEMENTS: REGULAR PAYMENTS AND CHECK REGISTER:

Motion by Hohenstein, **Second** by Counts, **“To accept the disbursements as presented and any normal and customary payments for the month.”** Motion carried.

ADJOURNMENT: **Motion** by Boal, **Second** by Hohenstein, **“To adjourn”** Motion carried. The meeting was adjourned at 10:48p.m.

Robert Spaulding, Howell Township Supervisor

Sue Daus, Howell Township Clerk

Tanya Davidson, Recording Secretary

Monthly Permit List

04/01/2026

1/5

Commercial Land Use

Permit #	Applicant	Address	Fee Total	Const. Value
P26-018	GARBAGE MAN LLC	2000 N BURKHART RD	\$250.00	\$0.00
Work Description: Permit to construct new building due to fire. 10' x 7' covered entrance, 32' x 50' + 536 sq ft office space, and 4964 sq ft garage bay / storage space + mezzanine, total 7100 sq ft footprint, 7760 sq ft total gross area Site plan does not need to be approved by Planning Commission for the following reasons: 1. New building to be constructed in same location on site 2. New building will be larger than previous building, but is under the 10% increase allowed per ordinance section 20.10-B-2				
P26-035	THE GARBAGE MAN LLC	2000 N BURKHART RD	\$150.00	\$0.00
Work Description: Remove and clean up of building that burned down				

Total Permits For Type:	2
Total Fees For Type:	\$400.00
Total Const. Value For Type:	\$0.00

MHOG

Permit #	Applicant	Address	Fee Total	Const. Value
PMHOG26-007	MI HOMES OF MICHIGAN LLC A DELAWARE LIMITED LIABILITY COMPANY	4033 HERITAGE SQUARE DRIVE	\$0.00	\$0.00
Work Description:				
PMHOG26-008	MI HOMES OF MICHIGAN LLC A DELAWARE LIMITED LIABILITY COMPANY	4100 SEDGEVIEW CIRCLE	\$0.00	\$0.00
Work Description:				
PMHOG26-006	MI HOMES OF MICHIGAN LLC A DELAWARE LIMITED LIABILITY COMPANY	4107 SEDGEVIEW CIRCLE	\$0.00	\$0.00
Work Description:				
PMHOG26-001	MI HOMES OF MICHIGAN LLC A DELAWARE LIMITED LIABILITY COMPANY	4112 SEDGEVIEW CIRCLE	\$0.00	\$0.00
Work Description:				
PMHOG26-005	MI HOMES OF MICHIGAN LLC A DELAWARE LIMITED LIABILITY COMPANY	4119 SEDGEVIEW CIRCLE	\$0.00	\$0.00
Work Description:				
PMHOG26-002	MI HOMES OF MICHIGAN LLC A DELAWARE LIMITED LIABILITY COMPANY	4124 SEDGEVIEW CIRCLE	\$0.00	\$0.00
Work Description:				
PMHOG26-003	MI HOMES OF MICHIGAN LLC A DELAWARE LIMITED LIABILITY COMPANY	4180 SEDGEVIEW CIRCLE	\$0.00	\$0.00
Work Description:				

Work Description:

PMHOG26-004	MI HOMES OF MICHIGAN LLC A DELAWARE LIMITED LIABILITY COMPANY	4188 SEDGEVIEW CIRCLE	\$0.00	\$0.00
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Work Description:

PMHOG26-009	MI HOMES OF MICHIGAN LLC A DELAWARE LIMITED LIABILITY COMPANY	4560 SEDGEVIEW CIRCLE	\$0.00	\$0.00
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Work Description:

PMHOG26-010	MI HOMES OF MICHIGAN LLC A DELAWARE LIMITED LIABILITY COMPANY	4570 SEDGEVIEW CIRCLE	\$0.00	\$0.00
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Work Description:

PMHOG26-011	MI HOMES OF MICHIGAN LLC A DELAWARE LIMITED LIABILITY COMPANY	350 SEDGEVIEW COURT	\$0.00	\$0.00
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Work Description:

Total Permits For Type:	11
Total Fees For Type:	\$0.00
Total Const. Value For Type:	\$0.00

Residential Land Use

Permit #	Applicant	Address	Fee Total	Const. Value
P26-042	BURKHART RIDGE LLC	1048 ADMIRAL DR	\$0.00	\$0.00
	Work Description: New Home			
P26-034	SPRING DANIEL J AND SAMANTHA	340 E ALLEN RD	\$75.00	\$0.00
	Work Description: New Home Construction			
P26-059	AMERICAN NATIONAL RENOVATIONS	2025 W ALLEN RD	\$10.00	\$0.00
	Work Description: Remove and replace shingles			
P26-055	GREEN SHIELD HOME LLC	3729 AMBER OAKS DR	\$10.00	\$0.00
	Work Description: Resurface existing deck 14'2" x 14'2" with no structural changes			
P26-044	MAJIC WINDOW	2533 ARMOND RD	\$10.00	\$0.00
	Work Description: Remove and replace 1 window and 2 door walls on house- Size for size			
P26-061	LOCKHART ROOFING	5332 BYRON RD	\$10.00	\$0.00
	Work Description: Tear off and Re-roof complete house and garage roof			
P26-060	1-800 HANSONS	255 N DIETERLE RD	\$10.00	\$0.00
	Work Description: Replacing roof on home and garage			
P26-045	RENEWAL BY ANDERSEN	2876 EASON DR	\$10.00	\$0.00
	Work Description: Replacement of 9 windows			
P26-031	SUPERIOR CUSTOM HOMES	1031 ELLINGTON DR	\$50.00	\$0.00
	Work Description: 8'10" x 16' treated wood deck on rear of home			
P26-047	ELIEFF BROTHERS ROOFING	4430 EMMONS RD	\$10.00	\$0.00

Work Description: Roof tear off and re-shingle house only

P26-053	JUSTICE FENCE CO.	2420 FISHER RD	\$50.00	\$0.00
	Work Description: 294' of 6' tall wood privacy fence, 1- 4' gate, 1- 8' gate. Fencing to be installed on the property line; signed permission letter from neighbors submitted with application.			
P26-048	ORIGINAL ROOFING COMPANY	1860 KEEL DR	\$10.00	\$0.00
	Work Description: Complete tear off and re-roof with no structural changes			
P26-046	C & L WARD BROS CO INC	3090 MASON RD	\$75.00	\$0.00
	Work Description: Addition of one window			
P26-038	JUSTICE FENCE CO.	4430 MASON RD	\$50.00	\$0.00
	Work Description: 6' vinyl privacy fence, 96' long next to driveway, 20' off west property line			
P26-032	HOME PRO EXTERIORS	875 NANCY ANN DR	\$10.00	\$0.00
	Work Description: Tear off and re-shingle roof of existing residential home			
P26-037	1-800 HANSONS	4115 OAK GROVE RD	\$10.00	\$0.00
	Work Description: Replacing roof on home			
P26-054	COMFORT LIVING HOMES	4402 RAMSBURY DR	\$75.00	\$0.00
	Work Description: Cosmetically attached 24' x 24' garage to existing manufactured home			
P26-039	BURKHART RIDGE LLC	4406 RAMSBURY DR	\$0.00	\$0.00
	Work Description: New Home			
P26-051	COMFORT LIVING HOMES	4412 RAMSBURY DR	\$75.00	\$0.00
	Work Description: Cosmetically attached 24' x 24' garage to existing manufactured home			
P26-041	BURKHART RIDGE LLC	4416 RAMSBURY DR	\$0.00	\$0.00
	Work Description: New Home			
P26-049	COMFORT LIVING HOMES	4430 RAMSBURY DR	\$75.00	\$0.00
	Work Description: Cosmetically attached 26' x 35' garage to existing manufactured home.			
P26-050	COMFORT LIVING HOMES	4430 RAMSBURY DR	\$50.00	\$0.00
	Work Description: Approx. 12' x 20' cosmetically attached covered deck to existing manufactured home			
P26-052	COMFORT LIVING HOMES	1039 RIVER LINE DR	\$75.00	\$0.00
	Work Description: Cosmetically attached 24' x 24' garage to existing manufactured home			
P26-057	ROOF RITE	4491 SINGLE TREE DR	\$10.00	\$0.00
	Work Description: Tear off and replace existing asphalt shingles on home.			
P26-036	BOYLE IAN AND SARAH	3278 WARNER RD	\$75.00	\$0.00
	Work Description: New construction of an Agricultural barn.			
P26-043	BURKHART RIDGE LLC	4400 WILLOWBANK DR	\$0.00	\$0.00
	Work Description: New Home			
P26-040	BURKHART RIDGE LLC	4404 WILLOWBANK DR	\$0.00	\$0.00

Total Permits For Type: 27
Total Fees For Type: \$835.00
Total Const. Value For Type: \$0.00

Sewer Connection

Permit #	Applicant	Address	Fee Total	Const. Value
PWS26-021	BURKHART RIDGE LLC	1048 ADMIRAL DR	\$2083.33	\$0.00
Work Description: Sewer Connection				
PWS26-015	BURKHART RIDGE LLC	4406 RAMSBURY DR	\$2083.33	\$0.00
Work Description: Sewer connection				
PWS26-019	BURKHART RIDGE LLC	4416 RAMSBURY DR	\$2083.33	\$0.00
Work Description: Sewer Connection				
PWS26-023	BURKHART RIDGE LLC	4400 WILLOWBANK DR	\$2083.33	\$0.00
Work Description: Sewer Connection				
PWS26-017	BURKHART RIDGE LLC	4404 WILLOWBANK DR	\$2083.33	\$0.00
Work Description: Sewer Connection				

Total Permits For Type: 5
Total Fees For Type: \$10416.65
Total Const. Value For Type: \$0.00

Sign

Permit #	Applicant	Address	Fee Total	Const. Value
P26-033	W 4 SIGNS	1450 N BURKHART RD	\$175.00	\$0.00
Work Description: Non-illuminated 36" x 112" double sided ground sign 60" tall, panels back to back				
P26-058	NORTHERN SIGN CO. INC.	1475 N BURKHART RD # G-150	\$225.00	\$0.00
Work Description: Illuminated wall sign 27' 8" x 36" (83 sq ft) Replacing existing blade sign along walkway				

Total Permits For Type: 2
Total Fees For Type: \$400.00
Total Const. Value For Type: \$0.00

Temporary Use

Permit #	Applicant	Address	Fee Total	Const. Value
P26-056	HAPPINESS CRYSTALS CO KAITLYN SHOWICH	1475 N BURKHART RD	\$250.00	\$0.00
Work Description: Various craft shows on the following dates: May 30-31 August 29-30 September 26-27 October 24-25				

Setup to be done the day prior to the event, clean up to be completed by the end of the last day. Food truck area to be marked out with safety cones. Onsite bathrooms and trash are

responsibility of property owner.

Hours of operation are:

Day before event 9 am - 9 pm

1st day of event 7 am - 8 pm, event open 11 am - 5 pm

2nd day of event 7 am - 9 pm, event open 11 am - 5 pm

Any proposed signs for event will need to be approved by Township Zoning Department separately.

Total Permits For Type:	1
Total Fees For Type:	\$250.00
Total Const. Value For Type:	\$0.00

Water Connection

Permit #	Applicant	Address	Fee Total	Const. Value
PWS26-022	BURKHART RIDGE LLC	1048 ADMIRAL DR	\$2083.33	\$0.00
	Work Description: Water Connection			
PWS26-016	BURKHART RIDGE LLC	4406 RAMSBURY DR	\$2083.33	\$0.00
	Work Description: Water connection			
PWS26-020	BURKHART RIDGE LLC	4416 RAMSBURY DR	\$2083.33	\$0.00
	Work Description: Water Connection			
PWS26-024	BURKHART RIDGE LLC	4400 WILLOWBANK DR	\$2083.33	\$0.00
	Work Description: Water connection			
PWS26-018	BURKHART RIDGE LLC	4404 WILLOWBANK DR	\$2083.33	\$0.00
	Work Description: Water Connection			

Total Permits For Type:	5
Total Fees For Type:	\$10416.65
Total Const. Value For Type:	\$0.00

Grand Total Fees:	\$22,718.30
Grand Total Permits:	53.00

Code Enforcement List

04/01/2026

Address	Owners Name	Parcel Number	Date Filed	Origin	Status
1800 BYRON RD	JAY SHERSTON PROPE	4706-26-201-013	03/19/2026	PUBLIC - COMPL	OPEN - COMPLANT RECEIVE
Complaint Main concern is the way the residents park their cars and trailers blocking the view of the road for those of us who are trying to back out of our driveways on a very busy road that no one obeys the speed limit on. Also about the stolen handicap sign, all the junk outside and inside the yard. It needs to be addressed before there is a house fire at that house. The garage is completely full of stuff as well, take a look around the backyard the deck is covered in stuff as well as the front porch, I wouldn't be surprised if the house is stuffed full and a fire hazard as well. They do have a young child living with them around 5 or 6 years old.					
Comments 3/23/26 - Stopped and spoke with resident. She was not aware of the ordinance regarding trailers and ensured that she would have her son move it. No other violations noted.					
1682 PINECROFT LANE	PINEVIEW VILLAGE	4706-27-201-071	01/14/2026	PUBLIC - COMPL	OPEN - COMPLANT RECEIVE
Complaint Ongoing construction activity at the Pineview Village, new development is creating noise and vibrations in violation of Howell township Ordinance No. 123. Noise Violation: On 10/09/2025 at approximately 6:30 a.m. EST, construction activity produced load equipment and impact noise that was plainly audible inside my residence and woke my household. On 01/08/2026 and approximately 6:32 a.m. EST, a heavy dumpster delivery and construction activity again produced noise plainly audible and inside my residence and woke my household. Both incidents occurred prior to the permitted 7:00 a.m. start time for construction activity under Township Ordinance No. 123. Vibration Violations: On most weekdays during active construction, heavy machinery (including excavators, compactors, and trucks) produces vibrations that are felt inside my residence. Ordinance No. 123 requires vibrations from any operation to be controlled so they cannot be felt beyond the property line. These vibrations are perceptible inside my home and disturb normal use and enjoyment of the residence. I am requesting Township Investigation and enforcement of the noise and vibration provisions of Ordinance No. 123					
Comments 01/12/26 - Email received from resident of Pineview Village in reference to construction activity prior to 0700. Responded to resident advising him to complete Ord Enforcement Complaint form. 01/13/26 - Arrived in Pineview Village 6:00 am checking for construction activity. remained onsite until 6:55 am. No activity in construction areas, no workers arriving at work. 01/14/26 - Arrived in PV at 6:10 am, no activity in construction areas. GFL arrives in area at approx 6:35 am for garbage collection. 01/16/26 - In PV approx 6:35 am no activity in construction areas. Official complaint form received and entered into computer. 01/19/26 - Checked the area between 6-7 am, no activity 01/21/26 - Area checked, no activity. 03/04/26 - Unfounded at this time. Additional construction expected soon and will monitor more closely.					

Code Enforcement List

04/01/2026

Address	Owners Name	Parcel Number	Date Filed	Origin	Status
3590 W GRAND RIVER Complaint Zoning Violations:Outdoor storage without screening, setback issues, parking not hard surfaced, no sign permit.	HASLOCK PROPERTIE	4706-28-100-024	05/06/2024		OPEN - FIRST LETTER SENT
Comments 5.13.24 - Violation letter to Occupant returned. 5.20.24 - Received phone call from owner. Will be preparing a site plan to take before the Planning Commission for approval. 6.20.24 - Received phone call from owner, discussed site plan requirements. 9.4.24 - Sent letter to owner RE site plan progress. 9.12.24 - Spoke to owner, Engineer has site plans almost complete. Will submit for review in the near future. 2.27.25 - Spoke to owner, Engineer will be submitting plans in the next week or two. 3.31.25 - Site visit completed, violations still present 4.30.25 - Site visit completed, violations still present 5.1.25 - Property owner turned in site plan. Currently considering if they would like to schedule a pre-conference prior to formally submitting the site plan. 6.9.25 - Spoke to the owner about next steps to move the site plan forward, owner is considering pairing down what has been proposed. 6.16.25 - Site visit completed, photos attached. 7.21.25 - Site visit completed, photos attached. 8.11.25 - Owner stopped in to discuss the site plan, will get the site plans printed out and submitted for review. 9.10.25 - Owner dropped off site plan and application, sent out for outside review, expected to be on October PC agenda 10.29.25 - Met with owner and engineer to discuss revisions to site plan requested by Township's Engineer and Planner. They will update the plan and resubmit for review. 12.16.25 - Owner and Engineer before the PC for preliminary site plan approval. Application tabled until updates are made to plans including: landscaping, parking, screening, storm water 2.25.26 - Owner indicated that site plan is still being updated per PC requirements, contemplating other changes to the site plan as well 3.5.26 - Spoke to owner, Justice Fence is moving out by 5.1.26. Owner would like to cancel site plan process. Indicated that property still needs to comply with the Ordinance and the outside storage of equipment such as trucks would need to be screened per 12.02-L. 3.25.26 - Owner confirmed that they would be making changes to the site plan and resubmitting to the PC for review and approval.					

5057 WARNER RD Complaint LARGE AMOUNT OF JUNK AND LITTER IN THE YARD.	HARTER EDWARD H	4706-19-200-005	03/14/2022	PUBLIC/ EMAIL	OPEN - SECOND LETTER SEN
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Comments 4.17.2023 THERE IS MORE JUNK NOW THEN THERE WAS LAST MARCH OF 2022 OR JANUARY OF 2023. 5.25.2023 I SPOKE WITH MR. HARTER HE IS STARTING TO CLEAN THE SITE UP, HE SAID THAT IT WILL TAKE SOME TIME TO GET IT ALL CLEANED UP. I WILL BEE CHECKING ON HIS PROGRESS EVERY FEW WEEKS TO MAKE SURE HE IS MAKING PROGRESS. 6.29.2023 SOME PROGRESS HAS BEEN MADE. WILL CHECK BACK IN A COUPLE OF WEEKS. 1.9.2024 did a site vist there has been no progress made on the clean up.					
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Code Enforcement List

04/01/2026

Address	Owners Name	Parcel Number	Date Filed	Origin	Status
1.11.2024					Final letter sent.
3.20.24					Site visit. No remediation of issues has taken place. Photos attached.
3.25.24					Spoke to owner. Owner is working on cleaning up the property, has dumpsters being delivered, scrap is in piles and ready to be taken to the scrap yard. Has requested 3 months to get the property cleaned up. Letter sent in confirmation of agreement. Scheduled visit for June 25th.
4.23.24					Site visit. Violation still present. Scheduled reinspection.
5.20.24					Site visit. Work has been started. Violation still present. Scheduled reinspection.
6.18.24					Site visit. Violation still present, no evidence of continued clean up activity. Will reinspect on June 25th as agreed.
6.25.24					Site visit. Minimal changes to site, violation still present. Letter sent to owner.
8.1.24					Site visit completed. Owner still working on clean-up.
9.4.24					Site visit completed, spoke to homeowner. Owner claims to have back of property nearly complete. Dumpster to be arriving next week, neighbors helping to remove scrap in the next few days.
10.8.24					Site visit completed. No evidence of activity. Final violation letter sent to owner.
11.6.24					Site visit completed. No evidence of activity. Will check property on 11.14.24 per letter.
11.14.24					Site visit completed. No evidence of activity. Ticket number 0204 issued. Ticket mailed to homeowner 11.18.24.
12.4.24					Spoke to homeowner. He will be completing a clean-up schedule and providing it to the Township. If the schedule is followed and clean-up of property is achieved ticket will be waived.
12.10.24					Schedule has not been provided to Township. Site visit completed, no change.
1.27.25					Site visit completed, no change. Schedule has not been provided to Township. Final violation letter sent to owner.
2.3.25					Received phone call from owner's wife, owner is currently in jail. By February 24th they will contact the Township to discuss deadlines for removing the junk from the site. Letter sent to owner to confirm same.
2.24.25					Spoke to owner's wife.
2.28.25					Spoke to owner's wife, came to agreement on clean up schedule. Letter on agreement sent to owner.
3.17.25					2.28 letter returned. Mailed out letter again.
3.21.25					Homeowner left message stating that all scrap metal has been removed, two vehicles will be removed this week. We may stop by any time to see the progress.
3.31.25					Site visit completed, violation still present
4.30.25					Site visit completed, violation still present. May 4th is the clean-up deadline, will make site visit Monday May 5th to check status.
5.7.25					Site visit completed, violation still present. Posted ticket #0159 to the structure, filed ticket with the District Court and requested an informal hearing, mailed copy of ticket to owner.
5.19.25					Received information from District Court setting formal hearing date. Contacted the court to switch to an informal hearing as originally requested.
6.10.25					Called Court RE informal hearing date, Court's system indicated that the ticket had been paid and closed.
6.16.25					Site visit completed, no apparent change, photos attached. Ticket filed with Court - requested informal hearing, ticket posted to structure and mailed to owner.
7.16.25					Magistrate refused to hear the case, claimed he did not have the authority for injunctive relief, ticket dismissed.
7.21.25					Site visit completed, no apparent change, photos attached. Ticket 0161 filed with the Court requesting formal hearing. Ticket posted to structure and mailed to owner.
7.29.25					Formal Court hearing scheduled.
9.8.25					Formal hearing held, Judge Bain granted 45-day limit to get site cleaned up, indicated that he would drive by the property, follow-up hearing scheduled by Judge.
10.20.25					Court status hearing held. Next hearing scheduled for November.
11.10.25					Site visit made, photos attached. Progress has been made, violations still exist. Court hearing held, Judge ordered follow up hearing in December.
12.7.25					Site visit completed, photos attached.

Code Enforcement List

04/01/2026

Address	Owners Name	Parcel Number	Date Filed	Origin	Status
12.8.25					- Court hearing held. Final extension to owner granted by court. Rehearing scheduled.
1/16/26					- Inspection from road and new photos taken. All cleanup has stopped. Large amounts of debris still on site and visible in multiple areas of the yard.
1.26.26					- Court Hearing held, Court will uphold the order filed in September allowing the Township to clean up the site and charge the owner. Court also issued fees and fines. Court case is closed; our file will remain open until the site has been brought into compliance with the Ordinance.
2.9.26					- Township Board granted owner extension to March 31, 2026 to get property into compliance with the Ordinance
2/17/26					- Out to meet with homeowner in ref to cleanup efforts, not Home.
2/18/26					- Met with Ed Harter and explained my expectations for clean up of his property.
2/23/26					- Drive by inspection of property. Harter is making progress with cleanup. focusing on the east property as I requested.
3/3/26					- Full dumpster in driveway.
3/6/26					- Dumpster empty and moved to back of property, enclosed trailer moved away from road. Tarp sand debris has been cleared from in front of out buildings. Walked property with Harter, he explained wet weather and mud has slowed progress but he is continuing to work at it.
3/18/26					- Visited property, clean up is still on going and xowner making progress.

Records: 4

Population: All Records

HOWELL TOWNSHIP
Application for Site Plan Review

3525 Byron Road Howell, MI 48855
Phone: 517-546-2817 ext. 108
Email: inspector@howelltownshipmi.org

Date 12-16-25

File # _____

Applicant Name MICHIGAN UNDERGROUND SPECIALISTS, LLC.

Parcel ID # 4706-28-200-040

Location of Property	<u>3401 W. GRAND RIVER, HOWELL, MI 48855</u>	Current Zoning Classification	<u>IFZ</u>
Existing Use	<u>EQUIPMENT STORAGE FACILITY AND OFFICE</u>	Proposed Use	<u>SAME USE, ADDING OUTDOOR STORAGE AREA TO THE SITE</u>

Check One:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Preliminary Site Plan Review (20.06) | <input type="checkbox"/> Final Site Plan Review (20.07) |
| <input type="checkbox"/> Temporary Use (14.25) | <input type="checkbox"/> Commercial/Industrial Development |
| <input type="checkbox"/> Subdivision/Site Plan Condo | <input type="checkbox"/> Multi-Family/Condo |
| <input type="checkbox"/> Planned Unit Development (PUD) Type: | 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> |

APPLICANT/LAND OWNER:
 MICHIGAN UNDERGROUND SPECIALISTS LLC.
 3401 W GRAND RIVER AVE
 HOWELL, MI, 48855-7603
 PH: (517) 546-9848

ENGINEER/SURVEYOR:
 KEBS, Inc.
 2116 HASLETT RD.
 HASLETT, MI, 48840
 PH: (517) 339-1014

DITCH WITCH EXPANSION

HOWELL TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

SITE DATA
 ZONED: IFZ (INDUSTRIAL FLEX ZONE)
 MINIMUM OF 200 FT AT BUILDING SETBACK LINE

BUILDING SETBACKS
 FRONT - 50 FEET
 SIDES - 10 FEET EACH SIDE MINIMUM TOTAL 25 FT
 REAR - 10 FEET

BUILDING/UNIT DATA
 MAXIMUM BUILDING HEIGHT = 70 FT
 PRIMARY BUILDING HEIGHT = ±25 FT
 EXISTING BLDG'S = 6,021 SF & 22,850 SF
 TOTAL BLDG. SF = 28,871 SF

MINIMUM AREA OF LOT = 40,000 SF
 MINIMUM WIDTH WITHIN SETBACK = 120 FT
 MAXIMUM LOT COVERAGE = 75%
 LOT COVERAGE = 158,800/331,077 = 0.48% (ALL IMPERVIOUS AREA)

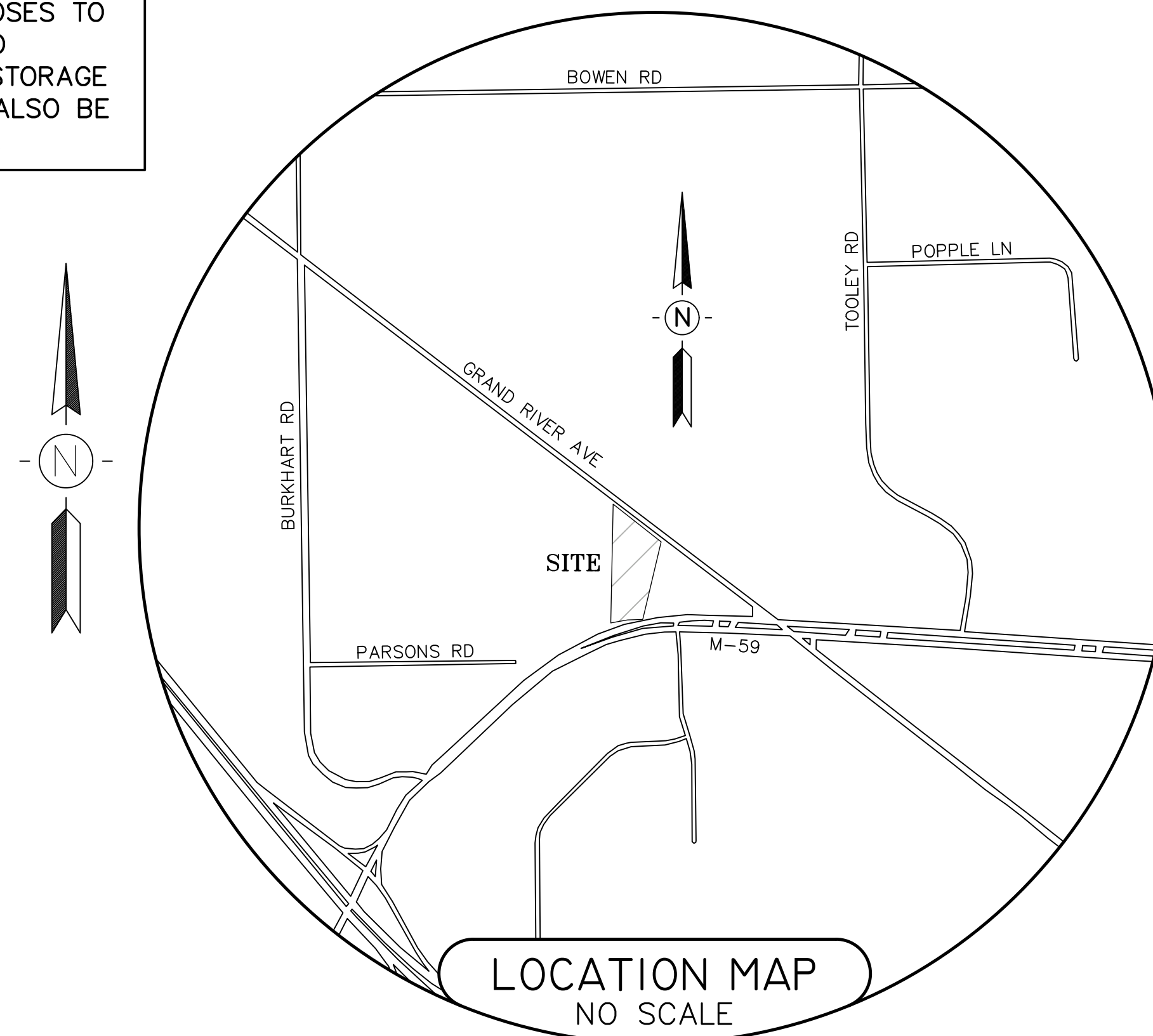
PARKING
 REQUIRED PARKING FOR INDUSTRIAL USES TO PROVIDE ONE (1) PARKING SPACE FOR EVERY EMPLOYEE WORKING DURING THE LARGEST WORKING SHIFT, OR (1) SPACE FOR EVERY 550 SF OF TOTAL FLOOR SPACE. 28,871 SF/550 = 52 SPACES. (THIS IS AN EXISTING SITE AND WITH 17 EMPLOYEES MAX, 19 SPACES PROVIDES AMPLE PARKING. ONCE THE EXTRA GRAVEL STORAGE IS PROVIDED, ADDITIONAL PARKING COULD BE PROVIDED ON THE EAST SIDE.

EMPLOYEES AT LARGEST SHIFT = 17 SPACES
 TOTAL EX. PARKING SPACES = 19 SPACES (STRIPING AND DIMENSIONS ARE SHOWN)

UTILITIES
 WATER:
 CITY PUBLIC WATER MAIN
 SANITARY:
 CITY PUBLIC SANITARY
 STORM:
 ON-SITE DETENTION BASIN

PROJECT DESCRIPTION:

EXISTING DITCH WITCH SITE PROPOSES TO ADD A GRAVEL STORAGE AREA TO PROVIDE ADDITIONAL EQUIPMENT STORAGE ON-SITE. A NEW FENCE WOULD ALSO BE INSTALLED ALONG THE PERIMETER.



REVIEWING AGENCIES

HOWELL TOWNSHIP
 3525 BYRON ROAD
 HOWELL, MI, 48855
 PH: (517) 546-2817

LIVINGSTON COUNTY DRAIN COMMISSION
 2300 E. GRAND RIVER AVE, SUITE 105
 HOWELL, MI, 48843
 PH: (517) 546-0040

LIVINGSTON COUNTY ROAD COMMISSION
 3535 GRAND OAKS DRIVE
 HOWELL, MI, 48843
 PH: (517) 546-4250

CONSTRUCTION NOTE:
 APPLICANT/OWNER IS RESPONSIBLE FOR SECURING APPROPRIATE PERMITS AS REQUIRED BY THE TOWNSHIP AND OTHER APPLICABLE AGENCIES. PERMITS SHALL BE PROVIDED TO THE TOWNSHIP PRIOR TO CONSTRUCTION.

EX. LEGEND

● = SET 1/2" BAR WITH CAP	⊙ = SANITARY MANHOLE
□ = FOUND IRON AS NOTED	⊕ = DRAINAGE MANHOLE
— = DEED LINE	⊖ = ELECTRIC MANHOLE
— = DISTANCE NOT TO SCALE	⊗ = TELEPHONE MANHOLE
▨ = ASPHALT	⊠ = CATCHBASIN
▩ = CONCRETE	○ = SANITARY CLEANOUT
▧ = GRAVEL	⊕ = FIRE HYDRANT
⊙ = EXISTING SPOT ELEVATION	⊕ = VALVE
⊙ = EXISTING CONTOUR ELEVATION	⊕ = UTILITY POLE
— = SANITARY SEWER	⊕ = LIGHT POLE
— = STORM SEWER	⊕ = GUY POLE
— = WATER LINE	⊕ = GUY WIRE
— = GAS LINE	⊕ = UTILITY PEDESTAL
— = UNDERGROUND TELEPHONE	⊕ = TRANSFORMER
— = UNDERGROUND TELEVISION	⊕ = HANDHOLE
— = UNDERGROUND ELECTRIC	⊕ = ELECTRIC METER
— = OVERHEAD WIRES	⊕ = GAS METER
	⊕ = WATER METER
	○ = SIGN
	○ = POST
	⊕ = AIR CONDITIONING UNIT

LEGEND

— = PROPOSED WATER MAIN	⊕ = PROPOSED HYDRANT
— = PROPOSED SANITARY SEWER	⊕ = PROPOSED GATE VALVE
— = PROPOSED STORM SEWER	⊕ = PROPOSED SAN. M.H.
	⊕ = PROPOSED STORM M.H.
	⊕ = PROPOSED C.B.
	⊕ = PROPOSED GRADES
	⊕ = PROPOSED FIRST FLOOR ELEV.
▲ 1/8 800.00	⊕ = PROPOSED TOP OF CURB ELEV.
▲ 1/4 800.00	⊕ = PROPOSED TOP OF GROUND ELEV.
▲ 1/2 800.00	⊕ = PROPOSED TOP OF PAVT ELEV.
▲ 3/4 800.00	⊕ = PROPOSED TOP OF WALK ELEV.
⊕ = DENOTES S.E.S.C. KEYING SYSTEM	

LAND USE DATA	TOTAL AREA TO EXISTING DETENTION POND	
	TOTAL DEVELOPMENT AREA (AC)	EXISTING CONDITIONS
TOTAL DEVELOPMENT AREA (AC)	4.56	5.22
IMPERVIOUS AREA (AC)	3.63	4.29
TOTAL PERVIOUS AREA (AC)	0.93	0.93
PERVIOUS AREA BREAKDOWN BY COVER TYPE		
MEADOW/FALLOW/NATURAL AREAS (NON-CULTIVATED)	0.93	0.93
PREDOMINANT NRCS SOIL TYPE (A,B,C OR D)	B	B
IMPROVED AREAS (TURF GRASS, LANDSCAPE, ROW CROPS)	0	0.43
PREDOMINANT NRCS SOIL TYPE (A,B,C OR D)	N/A	B
WOODED AREAS	0.00	0.00
PREDOMINANT NRCS SOIL TYPE (A,B,C OR D)	N/A	N/A
CPVC VOLUME CALCULATED (CUBIC FEET)		20,188
CPVC VOLUME PROVIDED (CUBIC FEET)		20,188
CPRC VOLUME PROVIDED (CUBIC FEET)		29,505

ABBREVIATION CONVERSION CHART

& - AND	LF - LINEAR FEET
@ - AT	L.P. - LOW POINT
BM - BENCHMARK	M.H. - MANHOLE
BIT - BITUMINOUS	MIN - MINIMUM
C.B. - CATCH BASIN	N - NORTH
C.H. - CHORD	# - NUMBER
C/L - CENTERLINE	NO. - NUMBER
CL - CLASS	PAV'T - PAVEMENT
C.O. - CLEAN OUT	PERP - PERPENDICULAR
CONC. - CONCRETE	± - PLUS OR MINUS
CMP - CORRUGATED METAL PIPE	PC - POINT OF CURVE
CULV'T - CULVERT	PT - POINT OF TANGENT
DIA - DIAMETER	PROP - PROPOSED
E - EAST	RT - RIGHT
ELEV - ELEVATION	R.O.W. - RIGHT OF WAY
EX - EXISTING	SA - SANITARY
EXT. - EXISTING	SAN - SANITARY
EXIST. - EXISTING	S - SOUTH
F-F - FACE TO FACE	SY - SQUARE YARD
F-FL - FIRST FLOOR ELEV.	SQ. FT. - SQUARE FEET
	STA - STATION
	ST. - STORM
G.V. - GATE VALVE	T/C.M. - TOP OF CASTING
GA - GAUGE	T/C - TOP OF CURB
HYD - HYDRANT	T/G - TOP OF GROUND
I.E. - INVERT ELEVATION	T/P - TOP OF PAVEMENT
LN - LANE	T/W - TOP OF WALK
LT - LEFT	TYP - TYPICAL
	W - WEST
	W/ - WITH

BENCHMARKS

BENCHMARK #1 ELEV. = 944.56 (NAVD88)
 TOP OF NNE FLANGE BOLT NEXT TO "O" IN "OPEN", FIRE HYDRANT, 80' SOUTHWESTERLY OF CENTERLINE GRAND RIVER AVENUE, 25' NORTHWESTERLY OF CENTERLINE OF EASTERLY DRIVE TO #3401 W. GRAND RIVER AVENUE.

BENCHMARK #2 ELEV. = 943.01 (NAVD88)
 TOP OF SOUTHERLY FLANGE BOLT NEXT TO "O" IN "OPEN", FIRE HYDRANT, NORTHEASTERLY OF GRAND RIVER AVENUE, SOUTHERLY FROM #3480 W. GRAND RIVER AVENUE.

CERTIFICATE OF SURVEY:

I hereby certify only to the parties named hereon that we have surveyed at the direction of said parties, a parcel of land previously described as:

(As provided)
 Tax ID: 4706-28-200-040
 SEC 28 T3N R4E COMM E 1/4 COR SEC 28 TH DUE W 562.60 FT TH N 51° 45' 00" W 1797.70 FT FOR POB TH TH S 14° 54' 00" W 733.43 FT TH S 83° 35' 20" W 78.00 FT TH ALG AN ARC LEFT 146.06 FT RADIUS 2106.86 FT DELT 03° 58' 19" CHORD BEARS S 81° 36' 10" W 146.03 FT TH N 10° 43' 00" E 940.94 FT TH S 51° 45' 00" E 300.00 FT TO POB ALSO INCLUDES SEC. 28 T3N, R4E, COM. AT E 1/4 COR. THENCE DUE W. 562.60 FT TH N 51° 45' 00" W 2097.70 FT FPR POB TH S 10° 43' 00" W 940.94 FT TH ALG TH N'LY LINE OF M-59 57.87 FT ALG AN ARC LEFT RADIUS 2106.86 FT DELTA 01° 34' 25" CHORD BEARS S 79° 49' 47" W 57.86 FT TH N 02° 16' 45" E 1085.26 FT TH S 51° 45' 00" E 240.13 FT ALG S'LY LINE GRAND RIVER AVE TO POB.

and that we have found or set, as noted hereon, permanent markers to all corners and angle points of the boundary of said parcel and that the more particular legal description of said parcel is as follows:

A parcel of land in the Northeast 1/4 of Section 28, T3N, R4E, Howell Township, Livingston County, Michigan, the surveyed boundary of said parcel described as: Commencing at the East 1/4 corner of said Section 28; thence S89°06'18"W along the East-West 1/4 line of said Section 28 a distance of 562.60 feet to the Southerly right-of-way line of W. Grand River Avenue; thence N52°55'40"W along said Southerly line 1796.99 feet to the point of beginning of this description; thence S13°44'34"W 731.89 feet to the Northerly right-of-way line of M-59; thence along said Northerly line the following two courses: S82°31'17"W 81.08 feet, and Southwesterly 201.51 feet along a curve to the left, said curve having a radius of 2106.86 feet, a delta angle of 5°28'48", and a chord of 201.43 feet bearing S79°46'53"W; thence N01°08'43"E 1082.96 feet to said Southerly line; thence S52°55'40"E along said Southerly line 539.99 feet to the point of beginning; said parcel containing 7.60 acres more or less; said parcel subject to all easements and restrictions if any.

WITNESSES TO SECTION CORNERS:

North 1/4 corner, Section 28, T3N, R4E, 2014CR-0091
 Found Remon. bar & cap #14762, between runway and taxiway of Livingston County Spencer J. Hardy Airport, 2840' Northwestly of the Southeast end of runway 31, 380' Southwesterly of centerline of runway 31
 Centerline of taxiway light, S60°W, 144.40'
 Centerline of taxiway light, S22°E, 354.45'
 Centerline of taxiway light, N81°W, 278.79'
 Centerline of taxiway light, S04°W, 219.75'

East 1/4 corner, Section 28, T3N, R4E, 2013C-0044
 Found Remon. bar & cap #14762
 Found nail & tag in East side 42' Oak, N43°W, 45.38'
 Found Northeast corner in "Tomato Brothers" concrete block building, S88°W, 90.10'
 Found nail & tag in East end guard rail, N30°E, 35.45'
 Found 1/2" bar in East edge gravel road, S85°E, 32.14'

Center of Section 28, T3N, R4E
 Found 5/8" iron rod
 Found nail in West side of utility pole, S04°E, 20.08'
 Found nail & tag #38121 in East side of twin 18" Oak, S16°W, 35.62'
 Westerly corner of catch basin, N41°E, 183.88'
 Found PK nail in top of wood guard rail post, North, 84.20'

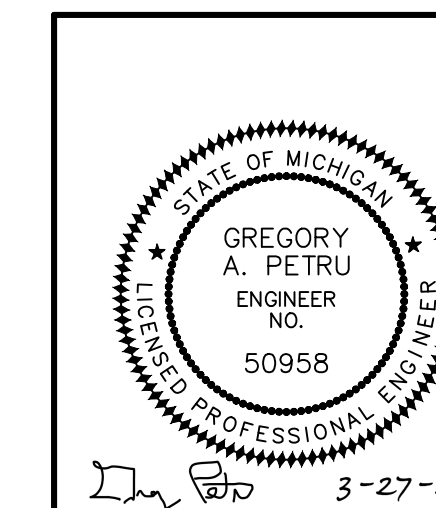
SURVEYOR'S NOTES:

- This plan was made at the direction of the parties named hereon and is intended solely for their immediate use. Survey prepared from fieldwork performed in October 2025.
- All bearings are Michigan State Plane South Zone grid bearings obtained from GPS observations using corrections obtained from the nearest National Geodetic Survey C.O.R.S. station.
- All dimensions shown are as-measured unless otherwise noted.
- All elevations are North American Vertical Datum of 1988 (NAVD88).
- All dimensions are in feet and decimals thereof.
- No building tie dimensions are to be used for establishing the property lines.
- Easements, if any, not shown hereon.
- By scaled map location and graphic plotting only, this property lies entirely within Flood Zone "X", areas outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Map for the Township of Howell, Livingston County, Michigan, Community Panel Nos. 260844 0188 D & 260844 0301 D, dated September 17, 2008.
- Utility information as shown was obtained from available public records and from supporting field observations, where possible, and is subject to verification in the field by the appropriate authorities prior to use for construction. MISS DIG was not contacted to mark utilities on site.
- Wetlands, if any, not shown hereon.

SHEET INDEX

- COVER SHEET
- EXISTING CONDITIONS PLAN
- SITE PLAN
- STORM & GRADING PLAN
- SOIL EROSION CONTROL PLAN
- LANDSCAPE PLAN
- DETAIL & SPECIFICATIONS SHEET
- DRAIN MAP PLAN
- D2. CALCULATIONS

ATTACHMENT: LIGHTING PLAN



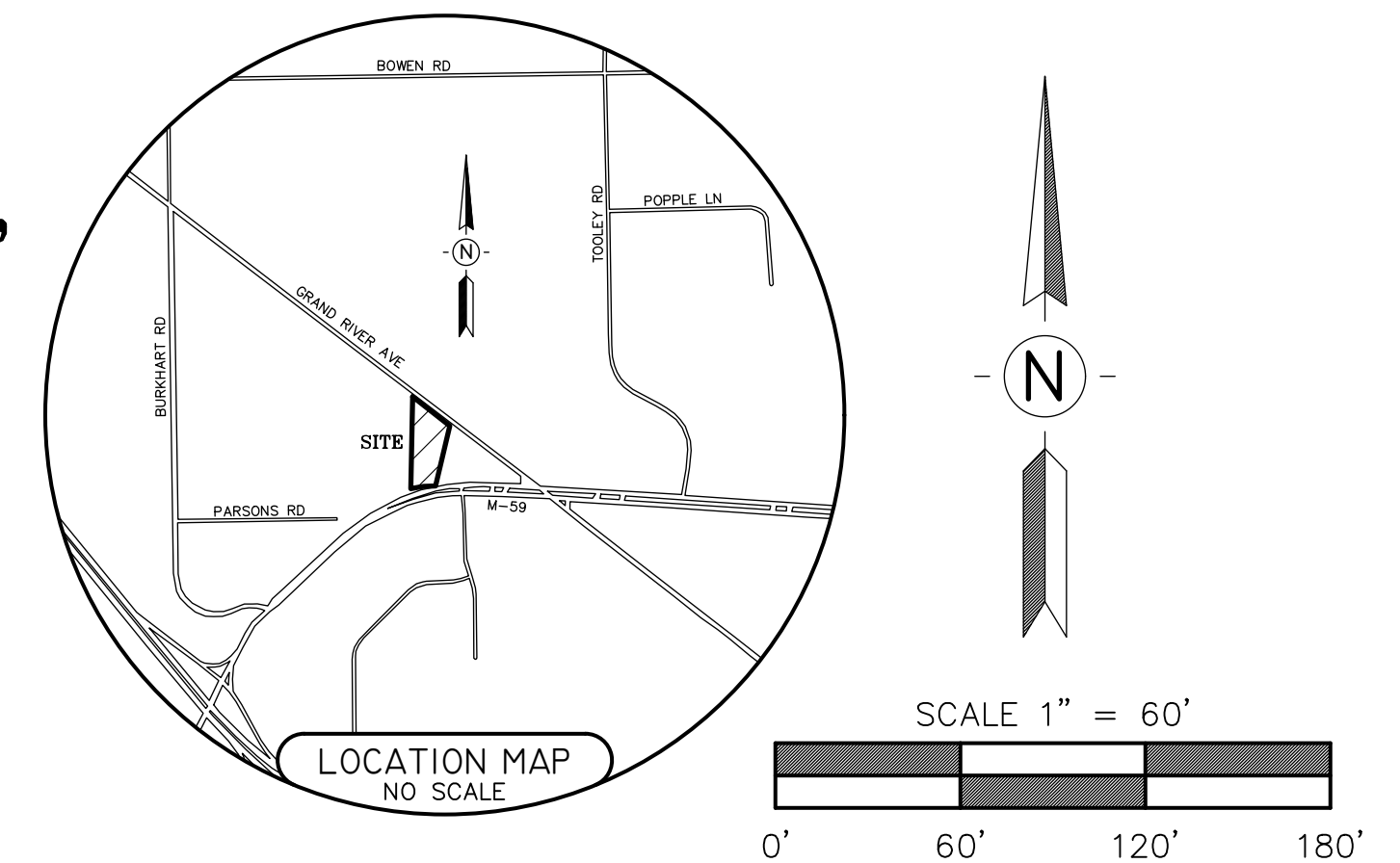
TAX ID# 4706-28-200-040

REVISIONS 11-13-25 SITE PLAN SUBMITTAL 1-6-26 SITE PLAN SUBMITTAL 2-16-26 SITE PLAN SUBMITTAL 2-27-26 SITE PLAN SUBMITTAL 3-25-26 SITE PLAN REVISION	KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS 2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047 Marshall Office Ph. 269-781-9800	
DITCH WITCH EXPANSION		
COVER SHEET		
SCALE: 1" = 60'	DESIGNER: GAP	APPROVED BY: GAP
DATE: 2-16-26	PROJECT MGR: GAP	SHEET 1 OF 7
AUTHORIZED BY: DITCH WITCH SALES OF MICHIGAN	JOB #:	E-104648

BOUNDARY & TOPOGRAPHIC SURVEY

"3401 W. GRAND RIVER AVENUE, HOWELL, MI 48855"

FOR: DITCH WITCH SALES OF MICHIGAN



SEWER INVENTORIES

- CATCH BASIN #100
RIM - 934.71
15" RCP SE - 932.03
15" RCP NW - 931.81
- CATCH BASIN #101
RIM - 936.37
12" RCP NE - 932.85
12" RCP SE - 932.84
15" RCP NW - 932.75
- CATCH BASIN #102
RIM - 940.49
12" RCP NE - 935.08
12" RCP SE - 935.08
12" RCP NW - 935.02
- CATCH BASIN #103
RIM - 943.11
12" RCP NE - 938.83
12" RCP SE - 938.80
12" RCP SW - 939.69
12" RCP NW - 938.76
- CATCH BASIN #104
RIM - 941.78
12" RCP S - 938.56
- CATCH BASIN #105
RIM - 942.23
12" RCP N - 938.22
8" PVC E - 938.23
12" RCP S - 938.03
- STORM MANHOLE #106
RIM - 942.96
12" RCP N - 937.71
15" RCP E - 937.70
18" RCP S - 937.68
- CATCH BASIN #107
RIM - 941.99
12" RCP NE - 937.81
15" RCP W - 937.75
- CATCH BASIN #108
RIM - 942.37
8" PVC N - 938.22
12" RCP NE - 938.18
12" RCP SW - 938.13
- CATCH BASIN #109
RIM - 942.06
12" RCP N - 938.42
12" RCP SW - 938.33
- CATCH BASIN #110
RIM - 941.42
12" RCP S - 938.60
- CATCH BASIN #111
RIM - 941.44
12" RCP S - 938.74
- CATCH BASIN #112
RIM - 943.94
12" RCP N - 938.54
15" RCP SW - 938.43
- CATCH BASIN #113 (OVERFLOW STRUCTURE)
RIM - 940.71
12" CMP NW - 937.11
- SANITARY MANHOLE #200
RIM - 937.68
8" RCP NE - 929.17
12" RCP SE - 928.80
8" RCP SW - 928.88
12" RCP NW - 928.77
- SANITARY MANHOLE #201
RIM - 938.43
12" RCP SE - 928.93
12" RCP NW - 928.89
- SANITARY MANHOLE #202
RIM - 939.27
12" RCP SE - 929.36
12" RCP NW - 929.33
- SANITARY MANHOLE #203
RIM - 940.06
12" RCP SE - 930.82
6" PVC S - 930.90
6" PVC SW - 930.88
12" RCP NW - 930.78
- SANITARY MANHOLE #204
RIM - 940.58
8" RCP N - 932.49
12" RCP SE - 932.81
12" RCP NW - 931.66
- SANITARY MANHOLE #205
RIM - 943.66
12" RCP SE - 933.90
8" PVC SW - 933.85
12" RCP NW - 933.76
- SANITARY MANHOLE #206
RIM - 942.79
4" PVC W - 939.88

BENCHMARKS

BENCHMARK #1 ELEV. = 944.56 (NAVD88)
TOP OF NNE FLANGE BOLT NEXT TO "O" IN "OPEN", FIRE HYDRANT, 80' SOUTHWESTERLY OF CENTERLINE GRAND RIVER AVENUE, 25' NORTHWESTERLY OF CENTERLINE OF EASTERLY DRIVE TO #3401 W. GRAND RIVER AVENUE.

BENCHMARK #2 ELEV. = 943.01 (NAVD88)
TOP OF SOUTHERLY FLANGE BOLT NEXT TO "O" IN "OPEN", FIRE HYDRANT, NORTHEASTERLY OF GRAND RIVER AVENUE, SOUTHERLY FROM #3480 W. GRAND RIVER AVENUE.

SURVEYOR'S NOTES:

- This plan was made at the direction of the parties named hereon and is intended solely for their immediate use. Survey prepared from fieldwork performed in October 2025.
- All bearings are Michigan State Plane South Zone grid bearings obtained from GPS observations using corrections obtained from the nearest National Geodetic Survey C.O.R.S. station.
- All dimensions shown are as-measured unless otherwise noted.
- All elevations are North American Vertical Datum of 1988 (NAVD88).
- All dimensions are in feet and decimals thereof.
- No building tie dimensions are to be used for establishing the property lines.
- Easements, if any, not shown hereon.
- By scaled map location and graphic plotting only, this property lies entirely within Flood Zone "X", areas outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Map for the Township of Howell, Livingston County, Michigan, Community Panel Nos. 260844 0188 D & 260844 0301 D, dated September 17, 2008.
- Utility information as shown was obtained from available public records and from supporting field observations, where possible, and is subject to verification in the field by the appropriate authorities prior to use for construction. MISS DIG was not contacted to mark utilities on site.
- Wetlands, if any, not shown hereon.

CERTIFICATE OF SURVEY:

I hereby certify only to the parties named hereon that we have surveyed at the direction of said parties, a parcel of land previously described as:

(As provided)
Tax ID: 4706-28-200-040
SEC 28 T3N R4E COMM E 1/4 COR SEC 28 TH DUE W 562.60 FT TH N 51° 45' 00" W 1797.70 FT FOR POB TH TH S 14° 54' 00" W 733.43 FT TH S 83° 35' 20" W 78.00 FT TH ALG AN ARC LEFT 146.06 FT RADIUS 2106.86 FT DELT 03° 58' 19" CHORD BEARS S 81° 36' 10" W 146.03 FT TH N 10° 43' 00" E 940.94 FT TH S 51° 45' 00" E 300.00 FT TO POB ALSO INCLUDES SEC. 28 T3N, R4E, COM. AT E 1/4 COR. THENCE DUE W. 562.60 FT TH N 51° 45' 00" W 2097.70 FT FPR POB TH S 10° 43' 00" W 940.94 FT TH ALG TH N'LY LINE OF M-59 57.87 FT ALG AN ARC LEFT RADIUS 2106.86 FT DELTA 01° 34' 25" CHORD BEARS S 79° 49' 47" W 57.86 FT TH N 02° 16' 45" E 1085.26 FT TH S 51° 45' 00" E 240.13 FT ALG S'LY LINE GRAND RIVER AVE TO POB.

and that we have found or set, as noted hereon, permanent markers to all corners and angle points of the boundary of said parcel and that the more particular legal description of said parcel is as follows:

A parcel of land in the Northeast 1/4 of Section 28, T3N, R4E, Howell Township, Livingston County, Michigan, the surveyed boundary of said parcel described as: Commencing at the East 1/4 corner of said Section 28; thence S89°06'18"W along the East-West 1/4 line of said Section 28 a distance of 562.60 feet to the Southerly right-of-way line of W. Grand River Avenue; thence N52°55'40"W along said Southerly line 1796.99 feet to the point of beginning of this description; thence S13°44'34"W 731.89 feet to the Northerly right-of-way line of M-59; thence along said Northerly line the following two courses: S82°31'17"W 81.08 feet, and Southwesterly 201.51 feet along a curve to the left, said curve having a radius of 2106.86 feet, a delta angle of 5°28'48", and a chord of 201.43 feet bearing S79°46'53"W; thence N01°08'43"E 1082.96 feet to said Southerly line; thence S52°55'40"E along said Southerly line 539.99 feet to the point of beginning; said parcel containing 7.60 acres more or less; said parcel subject to all easements and restrictions if any.

WITNESSES TO SECTION CORNERS:

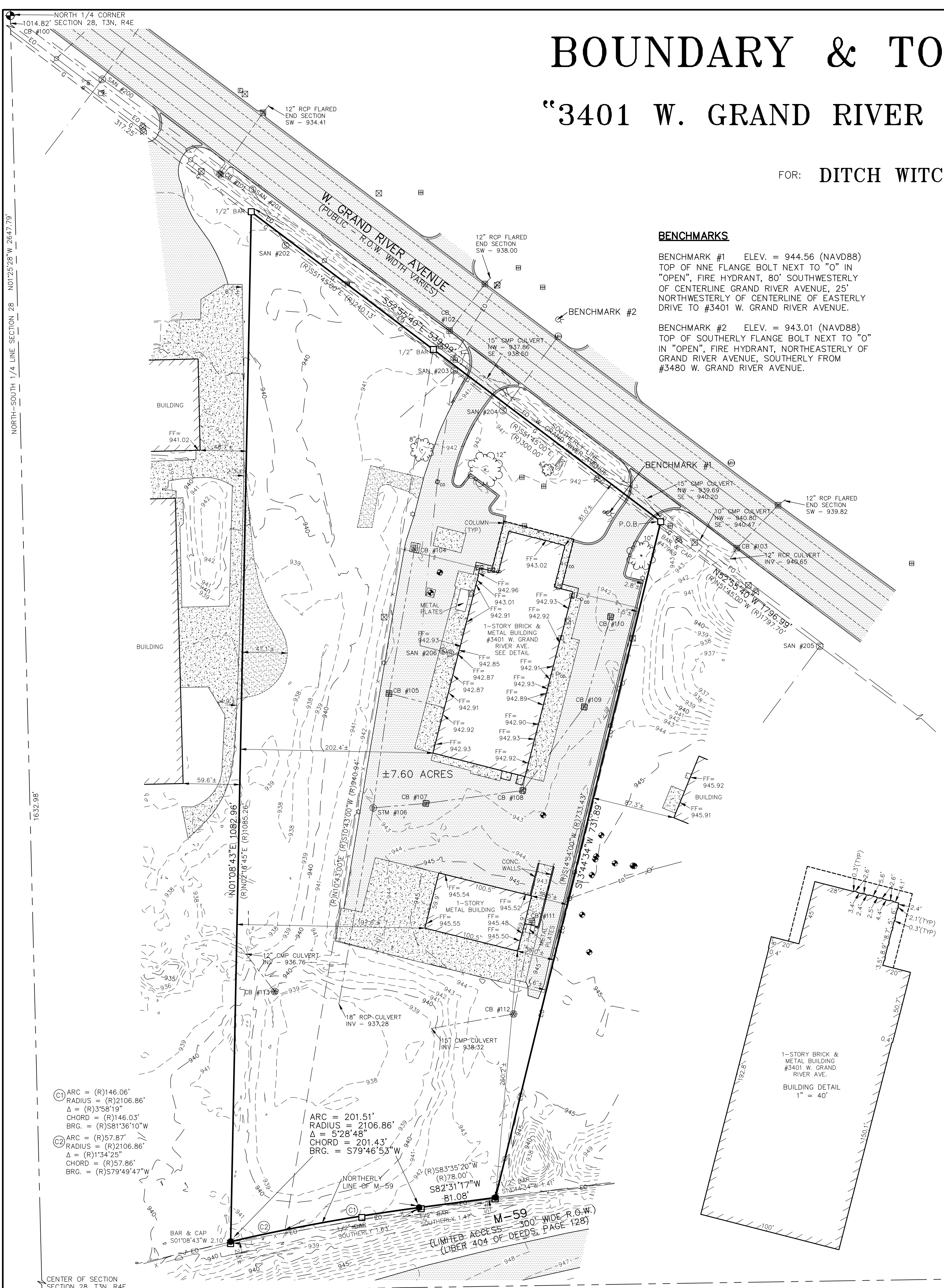
North 1/4 corner, Section 28, T3N, R4E, 2014CR-0091
Found Remon. bar & cap #14762, between runway and taxiway of Livingston County Spencer J. Hardy Airport, 2840' Northwesterly of the Southeast end of runway 31, 380' Southwesterly of centerline of runway 31
Centerline of taxiway light, S60°W, 144.40'
Centerline of taxiway light, S22°E, 354.45'
Centerline of taxiway light, N81°W, 278.79'
Centerline of taxiway light, S04°W, 219.75'

East 1/4 corner, Section 28, T3N, R4E, 2013C-0044
Found Remon. bar & cap #14762
Found nail & tag in East side 42" Oak, N43°W, 45.38'
Found Northeast corner in "Tomato Brothers" concrete block building, S88°W, 90.10'
Found nail & tag in East end guard rail, N30°E, 35.45'
Found 1/2" bar in East edge gravel road, S85°E, 32.14'

Center of Section 28, T3N, R4E
Found 5/8" iron rod
Found nail in West side of utility pole, S04°E, 20.08'
Found nail & tag #38121 in East side of twin 18" Oak, S16°W, 35.62'
Westerly corner of catch basin, N41°E, 183.88'
Found PK nail in top of wood guard rail post, North, 84.20'

LEGEND

- (M) = MEASURED DIMENSION
- (R) = RECORDED DIMENSION
- = SET 1/2" BAR WITH CAP UNLESS NOTED
- = FOUND IRON AS NOTED
- = DEED LINE
- = DISTANCE NOT TO SCALE
- = FENCE
- = ASPHALT
- = CONCRETE
- = GRAVEL
- = EXISTING SPOT ELEVATION
- = EXISTING CONTOUR ELEVATION
- = BUILDING OVERHANG
- = SANITARY SEWER
- = STORM SEWER
- = WATER LINE
- = GAS LINE
- = OVERHEAD WIRES
- = UNDERGROUND FIBER OPTIC
- ⊙ = DECIDUOUS TREE
- ⊙ = SANITARY MANHOLE
- ⊙ = DRAINAGE MANHOLE
- ⊙ = CATCH BASIN
- ⊙ = UNKNOWN MANHOLE
- ⊙ = GAS METER
- ⊙ = GAS VALVE
- ⊙ = CLEANOUT
- ⊙ = DOWN SPOUT
- ⊙ = FIRE HYDRANT
- ⊙ = VALVE
- ⊙ = WATER METER
- ⊙ = MONITORING WELL
- ⊙ = SIGN
- ⊙ = POST
- ⊙ = AIR CONDITIONING UNIT
- ⊙ = UTILITY POLE
- ⊙ = LIGHT POLE
- ⊙ = GUY WIRE
- ⊙ = UTILITY PEDESTAL
- ⊙ = TRANSFORMER
- ⊙ = HANDHOLE
- ⊙ = ELECTRIC METER



(1) ARC = (R)146.06'
RADIUS = (R)2106.86'
Δ = (R)3°58'19"
CHORD = (R)146.03'
BRG. = (R)S81°36'10"W

ARC = 201.51'
RADIUS = 2106.86'
Δ = 5°28'48"
CHORD = 201.43'
BRG. = S79°46'53"W

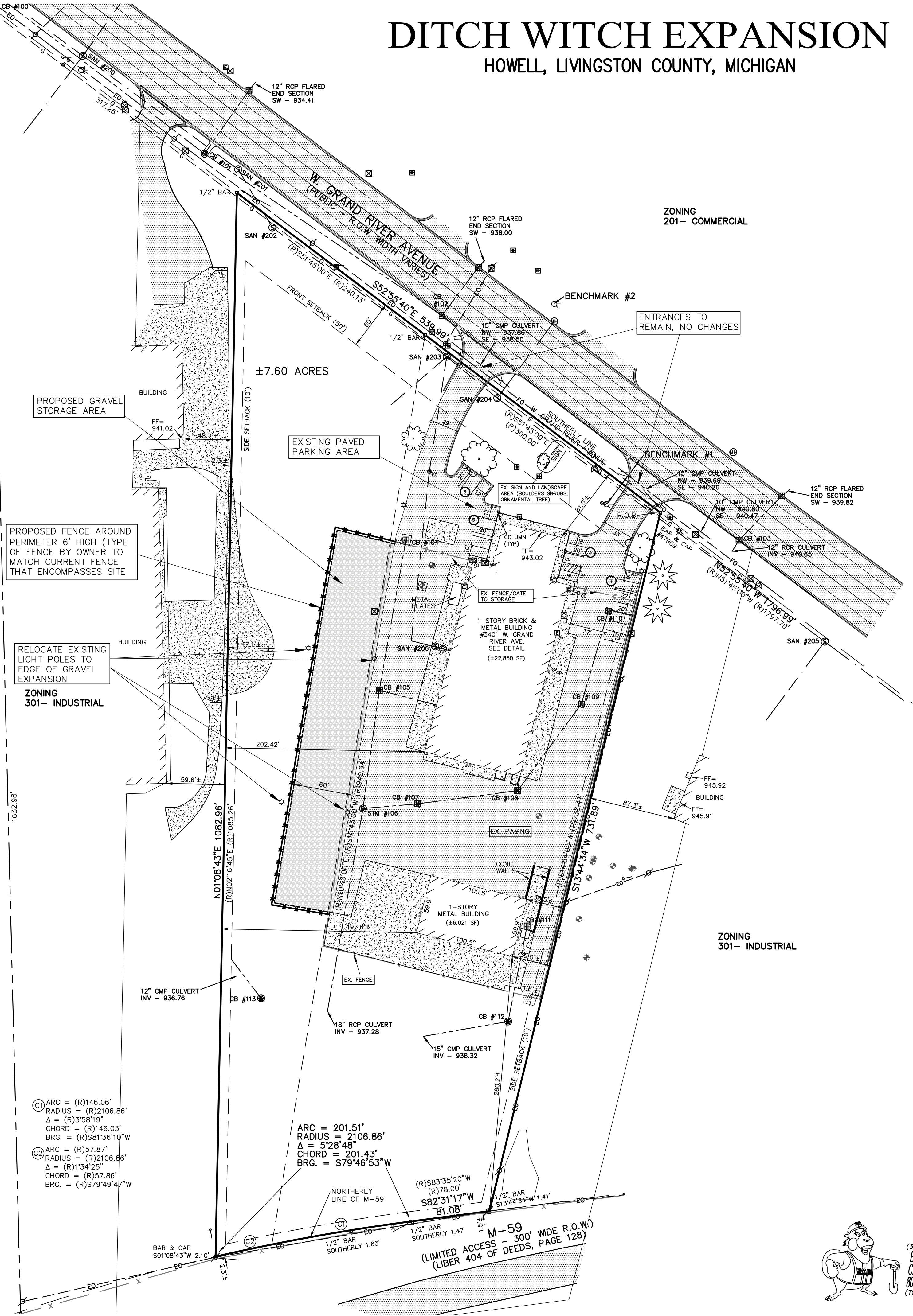
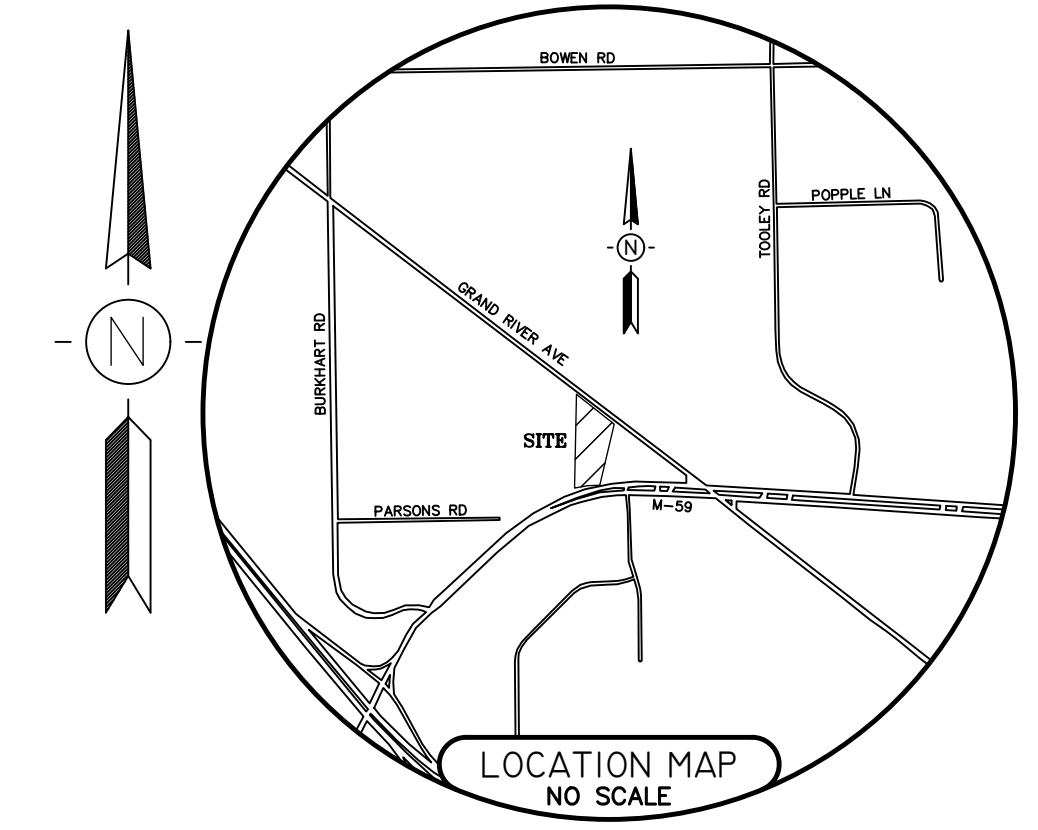
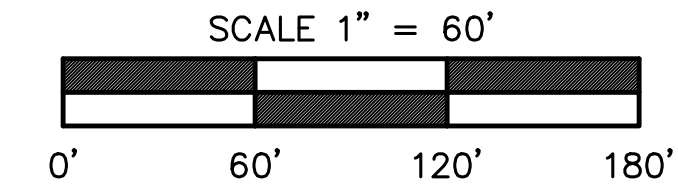
REVISIONS	COMMENTS	DATE
10/15/2025	ORIGINAL	
11/13/2025	SITE PLAN SUBMITTAL	
1/6/2026	SITE PLAN SUBMITTAL	
2/16/2026	SITE PLAN SUBMITTAL	
2/27/2026	SITE PLAN SUBMITTAL	
3/16/2026	SITE PLAN REVISION	

ERICK R. FRIESTROM PROFESSIONAL SURVEYOR	DATE NO. 53497
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KEBS, INC. ENGINEERING AND LAND SURVEYING 2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX 517-339-8047 WWW.KEBS.COM	
Marshall Office - Ph. 269-781-9800 DRAWN BY: SSF FIELD WORK BY: NW/HS SHEET 2 OF 7	SECTION 28, T3N, R4E JOB NUMBER: 104648.BND

DITCH WITCH EXPANSION

HOWELL, LIVINGSTON COUNTY, MICHIGAN



BENCHMARKS

BENCHMARK #1 ELEV. = 944.56 (NAVD88)
TOP OF NNE FLANGE BOLT NEXT TO "O" IN "OPEN", FIRE HYDRANT, 80' SOUTHWESTERLY OF CENTERLINE GRAND RIVER AVENUE, 25' NORTHWESTERLY OF CENTERLINE OF EASTERLY DRIVE TO #3401 W. GRAND RIVER AVENUE.

BENCHMARK #2 ELEV. = 943.01 (NAVD88)
TOP OF SOUTHERLY FLANGE BOLT NEXT TO "O" IN "OPEN", FIRE HYDRANT, NORTHEASTERLY OF GRAND RIVER AVENUE, SOUTHERLY FROM #3480 W. GRAND RIVER AVENUE.

LEGEND

	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED HYDRANT
	PROPOSED GATE VALVE
	PROPOSED SAN. M.H.
	PROPOSED STORM M.H.
	PROPOSED C.B.
	PROPOSED GRADES
	PROPOSED FIRST FLOOR ELEV.
	PROPOSED TOP OF CURB ELEV.
	PROPOSED TOP OF GROUND ELEV.
	PROPOSED TOP OF PAVT ELEV.
	PROPOSED TOP OF WALK ELEV.
	DENOTES S.E.S.C. KEYING SYSTEM

EX. LEGEND

	= SET 1/2" BAR WITH CAP		= SANITARY MANHOLE
	= FOUND IRON AS NOTED		= DRAINAGE MANHOLE
	= DEED LINE		= ELECTRIC MANHOLE
	= DISTANCE NOT TO SCALE		= TELEPHONE MANHOLE
	= ASPHALT		= CATCHBASIN
	= CONCRETE		= SANITARY CLEANOUT
	= GRAVEL		= FIRE HYDRANT
	= EXISTING SPOT ELEVATION		= VALVE
	= EXISTING CONTOUR ELEVATION		= UTILITY POLE
	= SANITARY SEWER		= LIGHT POLE
	= STORM SEWER		= GUY POLE
	= WATER LINE		= GUY WIRE
	= GAS LINE		= UTILITY PEDESTAL
	= UNDERGROUND TELEPHONE		= TRANSFORMER
	= UNDERGROUND TELEVISION		= HANDHOLE
	= UNDERGROUND ELECTRIC		= ELECTRIC METER
	= OVERHEAD WIRES		= GAS METER
	= EDGE OF WOODS		= WATER METER
	= SIGN		= POST
	= AIR CONDITIONING UNIT		

SITE DATA

ZONED: IFZ (INDUSTRIAL FLEX ZONE)
MINIMUM OF 200 FT AT BUILDING SETBACK LINE

BUILDING SETBACKS

FRONT - 50 FEET
SIDES - 10 FEET EACH SIDE MINIMUM TOTAL 25 FT
REAR - 10 FEET

BUILDING/UNIT DATA

MAXIMUM BUILDING HEIGHT = 70 FT
PRIMARY BUILDING HEIGHT = ±25 FT
EXISTING BLDG'S = 6,021 SF & 22,850 SF
TOTAL BLDG. SF = 28,871 SF

MINIMUM AREA OF LOT = 40,000 SF
MINIMUM WIDTH WITHIN SETBACK = 120 FT
MAXIMUM LOT COVERAGE = 75%
LOT COVERAGE = 158,800/331,077 = 0.48% (ALL IMPERVIOUS AREA)

PARKING

REQUIRED PARKING FOR INDUSTRIAL USES TO PROVIDE ONE (1) PARKING SPACE FOR EVERY EMPLOYEE WORKING DURING THE LARGEST WORKING SHIFT, OR (1) SPACE FOR EVERY 550 SF OF TOTAL FLOOR SPACE. 28,871 SF/550 = 52 SPACES. (THIS IS AN EXISTING SITE AND WITH 17 EMPLOYEES MAX, 19 SPACES PROVIDES AMPLE PARKING. ONCE THE EXTRA GRAVEL STORAGE IS PROVIDED, ADDITIONAL PARKING COULD BE PROVIDED ON THE EAST SIDE.)

EMPLOYEES AT LARGEST SHIFT = 17 SPACES
TOTAL EX. PARKING SPACES = 19 SPACES (STRIPING AND DIMENSIONS ARE SHOWN)

UTILITIES

WATER: CITY PUBLIC WATER MAIN
SANITARY: CITY PUBLIC SANITARY
STORM: ON-SITE DETENTION BASIN

- SURVEYOR'S NOTES:**
- This plan was made at the direction of the parties named hereon and is intended solely for their immediate use. Survey prepared from fieldwork performed in October 2025.
 - All bearings are Michigan State Plane South Zone grid bearings obtained from GPS observations using corrections obtained from the nearest National Geodetic Survey C.O.R.S. station.
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 - Utility information as shown was obtained from available public records and by supporting field observations, where possible, and is subject to verification in the field by the appropriate authorities prior to use for construction. MISS DIG was not contacted to mark utilities on site.
 - Wetlands, if any, not shown hereon.

APPLICANT/LAND OWNER: MICHIGAN UNDERGROUND SPECIALISTS LL 3401 W GRAND RIVER AVE HOWELL, MI, 48855-7603 PH: (517) 546-9848	ENGINEER/SURVEYOR: KEBS, Inc. 2116 HASLETT RD. HASLETT, MI, 48840 PH: (517) 339-1014
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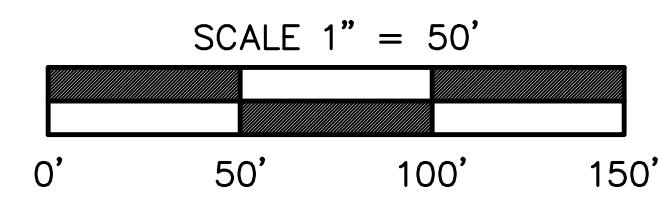
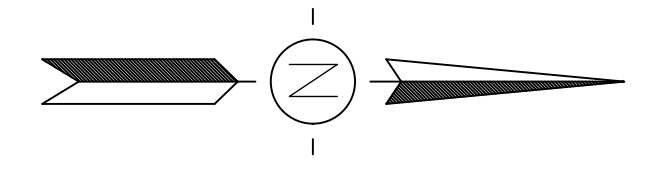
TAX ID# 4706-28-200-040

	REVISIONS 11-13-25 SITE PLAN SUBMITTAL 1-6-26 SITE PLAN SUBMITTAL 2-16-26 SITE PLAN SUBMITTAL 2-27-26 SITE PLAN SUBMITTAL 3-25-26 SITE PLAN REVISION	KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS 2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047 Marshall Office Ph. 269-781-9800	APPROVED BY: G.A.P. SHEET 3 OF 7	
	SCALE: 1" = 60' DATE: 2-16-26 AUTHORIZED BY: DITCH WITCH SALES OF MICHIGAN	DESIGNER: G.A.P. PROJECT MGR. G.A.P. JOB #: E-104648	DITCH WITCH EXPANSION SITE PLAN	



DITCH WITCH EXPANSION

HOWELL, LIVINGSTON COUNTY, MICHIGAN



SEWER INVENTORIES

- | | |
|--|---|
| CATCH BASIN #100
RIM - 934.71
15" RCP SE - 932.03
15" RCP NW - 931.81 | CATCH BASIN #110
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RIM - 943.11
12" RCP NE - 938.83
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12" RCP SW - 939.69
12" RCP NW - 938.76 | CATCH BASIN #113
(OVERFLOW STRUCTURE)
RIM - 940.71
12" CMP NW - 937.11 |
| CATCH BASIN #104
RIM - 941.78
12" RCP S - 938.56 | SANITARY MANHOLE #200
RIM - 937.68
8" RCP NE - 929.17
12" RCP SE - 928.80
8" RCP SW - 928.88
12" RCP NW - 928.77 |
| CATCH BASIN #105
RIM - 942.23
12" RCP N - 938.22
8" PVC E - 938.23
12" RCP S - 938.03 | SANITARY MANHOLE #201
RIM - 938.43
12" RCP SE - 928.93
12" RCP NW - 928.89 |
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6" PVC S - 930.90
6" PVC SW - 930.88
12" RCP NW - 930.78 |
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RIM - 941.99
12" RCP NE - 937.81
15" RCP W - 937.75 | SANITARY MANHOLE #204
RIM - 940.58
8" RCP N - 932.49
12" RCP SE - 932.81
12" RCP NW - 931.66 |
| CATCH BASIN #108
RIM - 942.37
8" PVC N - 938.22
12" RCP NE - 938.18
12" RCP SW - 938.13 | SANITARY MANHOLE #205
RIM - 943.66
12" RCP SE - 933.90
8" PVC SW - 933.85
12" RCP NW - 933.76 |
| CATCH BASIN #109
RIM - 942.06
12" RCP N - 938.42
12" RCP SW - 938.33 | SANITARY MANHOLE #206
RIM - 942.79
4" PVC W - 939.88 |

BENCHMARKS

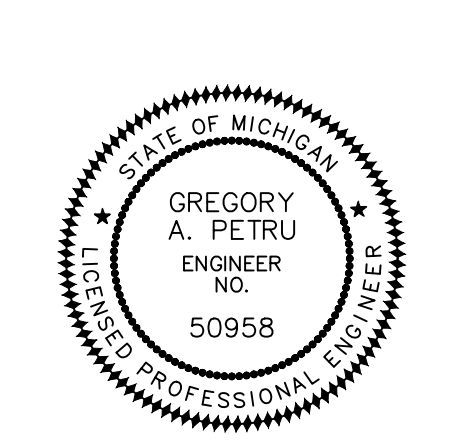
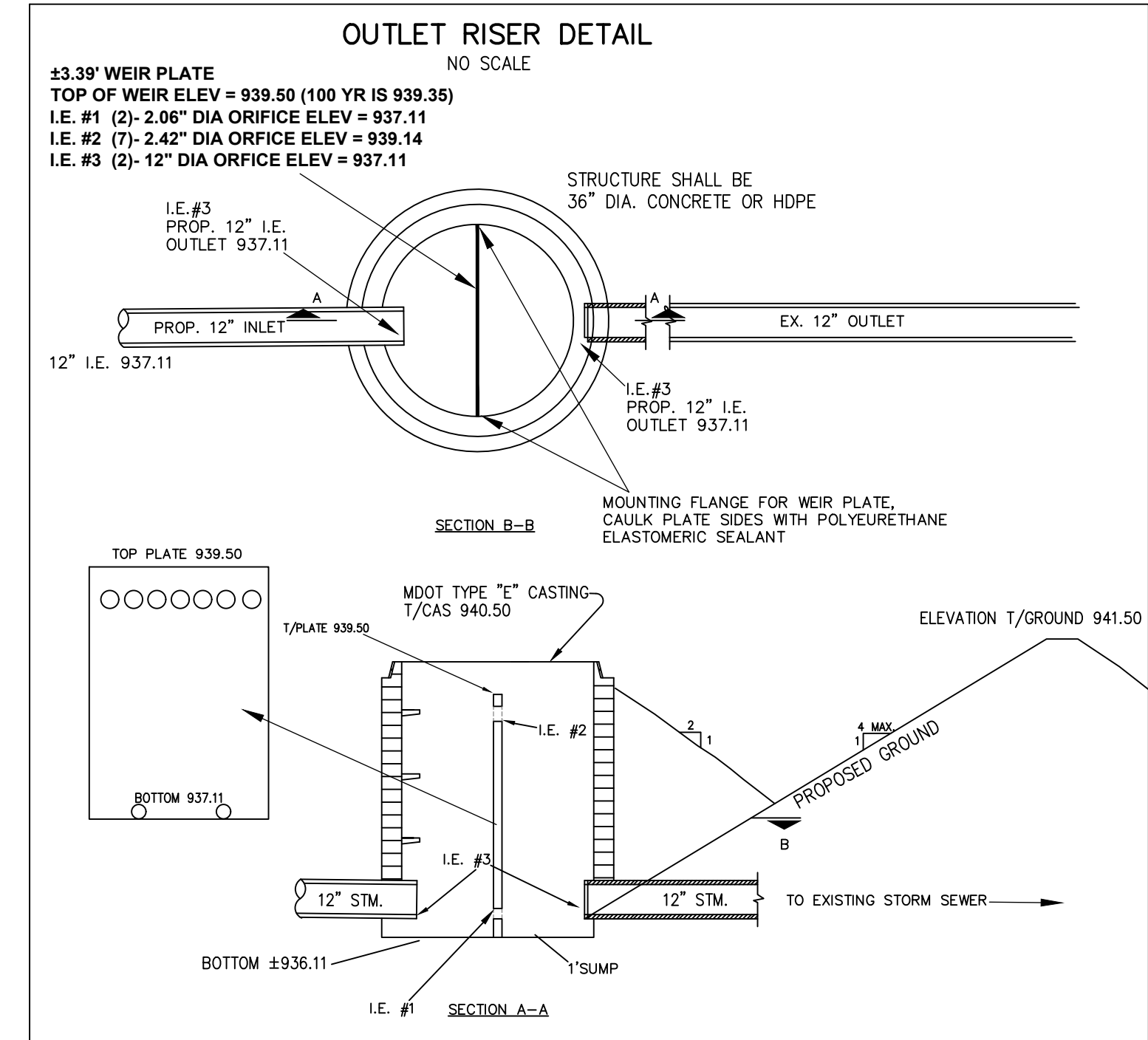
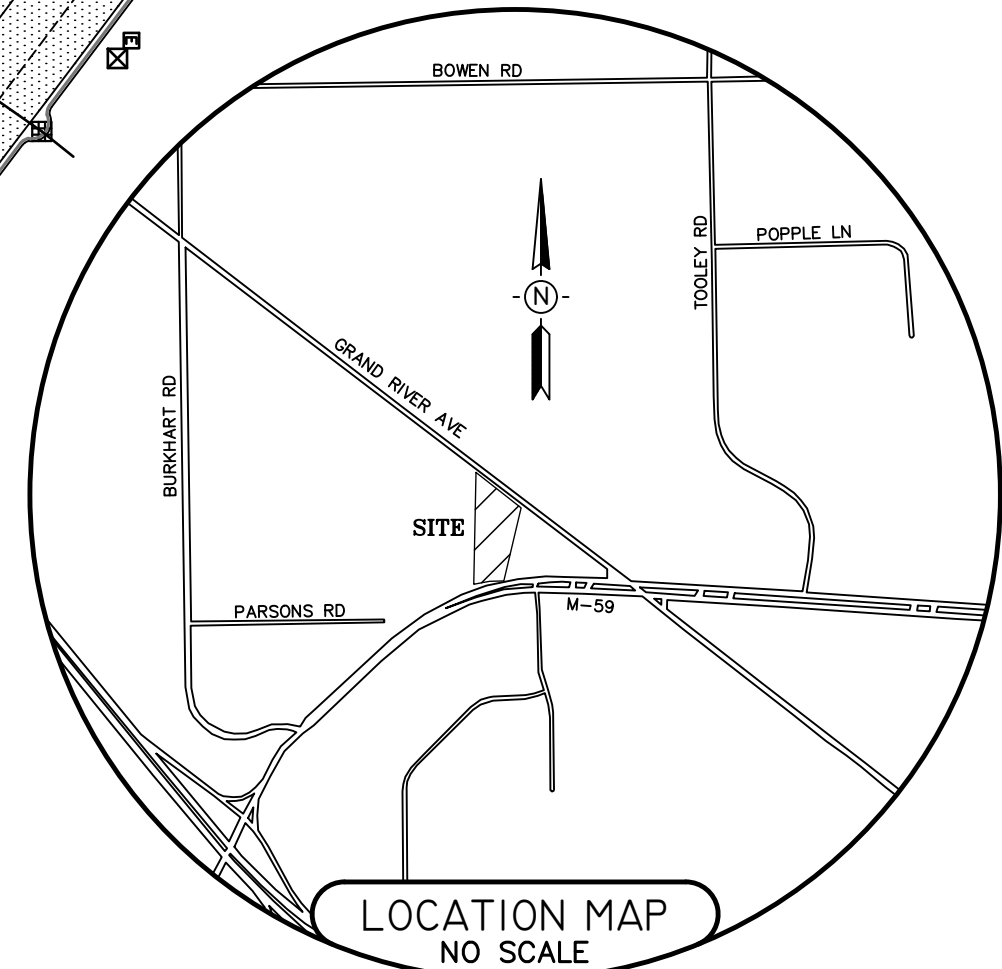
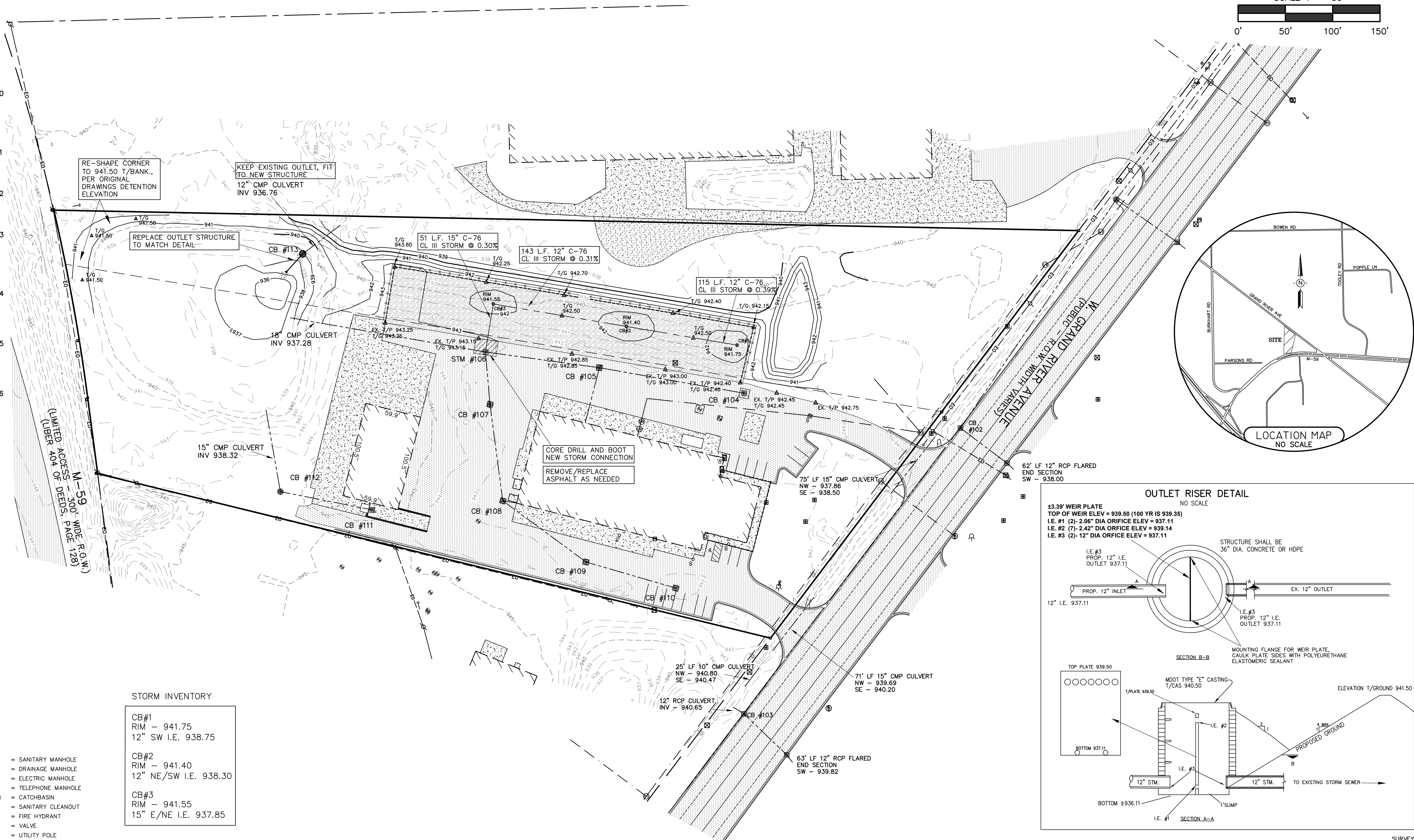
- BENCHMARK #1** ELEV. = 944.56 (NAVD88)
TOP OF NNE FLANGE BOLT NEXT TO "O" IN "OPEN", FIRE HYDRANT, 80' SOUTHWESTERLY OF CENTERLINE GRAND RIVER AVENUE, 25' NORTHWESTERLY OF CENTERLINE OF EASTERLY DRIVE TO #3401 W. GRAND RIVER AVENUE.
- BENCHMARK #2** ELEV. = 943.01 (NAVD88)
TOP OF SOUTHERLY FLANGE BOLT NEXT TO "O" IN "OPEN", FIRE HYDRANT, NORTHEASTERLY OF GRAND RIVER AVENUE, SOUTHERLY FROM #3480 W. GRAND RIVER AVENUE.

- ### LEGEND
- | | |
|--|--------------------------------|
| | PROPOSED WATER MAIN |
| | PROPOSED SANITARY SEWER |
| | PROPOSED STORM SEWER |
| | PROPOSED HYDRANT |
| | PROPOSED GATE VALVE |
| | PROPOSED SAN. M.H. |
| | PROPOSED STORM M.H. |
| | PROPOSED C.B. |
| | PROPOSED GRADES |
| | PROPOSED FIRST FLOOR ELEV. |
| | PROPOSED TOP OF CURB ELEV. |
| | PROPOSED TOP OF GROUND ELEV. |
| | PROPOSED TOP OF PAVYT ELEV. |
| | PROPOSED TOP OF WALK ELEV. |
| | DENOTES S.E.S.C. KEYING SYSTEM |

- ### EX. LEGEND
- | | | | |
|--|------------------------------|--|-------------------------|
| | = SET 1/2" BAR WITH CAP | | = SANITARY MANHOLE |
| | = FOUND IRON AS NOTED | | = DRAINAGE MANHOLE |
| | = DEED LINE | | = ELECTRIC MANHOLE |
| | = DISTANCE NOT TO SCALE | | = TELEPHONE MANHOLE |
| | = ASPHALT | | = CATCHBASIN |
| | = CONCRETE | | = SANITARY CLEANOUT |
| | = GRAVEL | | = FIRE HYDRANT |
| | = EXISTING SPOT ELEVATION | | = VALVE |
| | = EXISTING CONTOUR ELEVATION | | = UTILITY POLE |
| | = SANITARY SEWER | | = LIGHT POLE |
| | = STORM SEWER | | = GUY POLE |
| | = WATER LINE | | = GUY WIRE |
| | = GAS LINE | | = UTILITY PEDESTAL |
| | = UNDERGROUND TELEPHONE | | = TRANSFORMER |
| | = UNDERGROUND TELEVISION | | = HANDHOLE |
| | = UNDERGROUND ELECTRIC | | = ELECTRIC METER |
| | = OVERHEAD WIRES | | = GAS METER |
| | = EDGE OF WOODS | | = WATER METER |
| | = SIGN | | = AIR CONDITIONING UNIT |
| | = POST | | |

STORM INVENTORY

- CB#1
RIM - 941.75
12" SW I.E. 938.75
- CB#2
RIM - 941.40
12" NE/SW I.E. 938.30
- CB#3
RIM - 941.55
15" E/NE I.E. 937.85



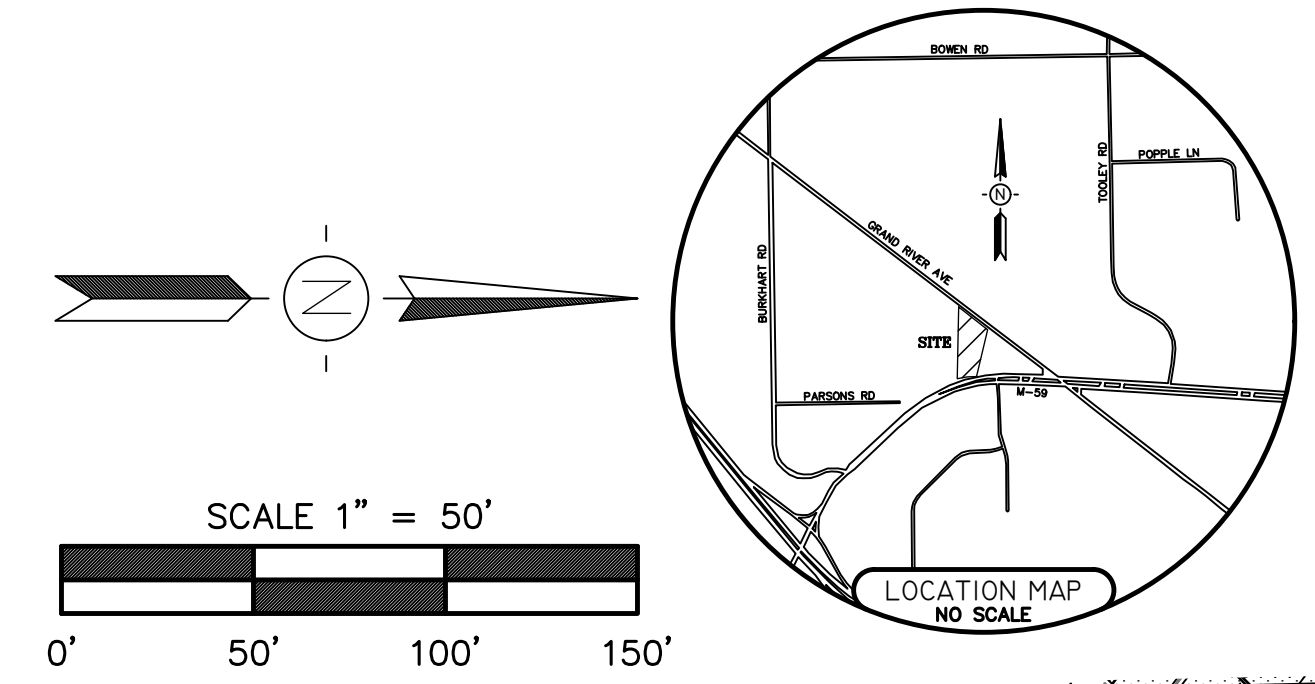
REVISIONS 11-13-25 PRELIMINARY SITE PLAN 1-6-26 SITE PLAN SUBMITTAL 2-16-26 SITE PLAN SUBMITTAL 2-27-26 SITE PLAN SUBMITTAL 3-25-26 SITE PLAN REVISION		KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS 2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047 Marshall Office Ph. 269-781-9800	
SCALE: 1" = 50' DATE: 2-16-26 AUTHORIZED BY: DITCH WITCH SALES OF MICHIGAN		DESIGNER: G.A.P. PROJECT MGR. G.A.P. APPROVED BY: G.A.P. SHEET 4 OF 7 JOB #: E-104648	

DITCH WITCH EXPANSION

HOWELL, LIVINGSTON COUNTY, MICHIGAN

PLANT LIST

QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
DECIDUOUS				
1	AF	AUTUMN BLAZE MAPLE	ACER X FREEMANII "AUTUMN BLAZE"	2.5" CAL. B & B
2	TG	GREENSPIRE LITTLELEAF LINDEN	TILIA TOMENTOSA "GREENSPIRE"	2.5" CAL. B & B
1	AR	RED SUNSET MAPLE	ACER RUBRUM "RED SUNSET"	2.5" CAL. B & B
ORNAMENTAL				
2	PC	ARISTOCRAT PEAR	PYRUS CALLERYANA 'ARISTOCRAT'	2.0" CAL. B & B
2	AG	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA	2.0" CAL. B & B
SHRUBS				
14	JS	SEAGREEN JUNIPER	JUNIPERUS SEAGREEN	24"-36" HT. CONT.
14	EA	BURNING BUSH	EUONYMUS ALATUS COMPACTUS	24"-36" HT. CONT.
12	FI	LYNWOOD GOLD FORSYTHIA	FORSYTHIA X INTERMEDIA 'LYNWOOD GOLD'	24"-36" HT. CONT.
9	BM	LITTLELEAF BOXWOOD	BUXUS MICROPHYLLA 'WINTER GEM'	24" HT. CONT.



INTERNATIONAL SOCIETY OF ARBORICULTURE
1400 WEST ANTHONY DRIVE
CHAMPAIGN, IL 61821
(217) 355-8411
(217) 355-9516 FAX

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT OR IN HIGH WIND AREAS OR IF ROOT BALL IS VERY SANDY OR WET CLAY SOIL.

WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT OR WHEN TRUNK ORIENTATION AT NURSERY IS UNKNOWN.

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND INDICATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOTTED DRAWING SOILS.

150 MM (6 IN.) MULCH, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR A MINIMUM OF THREE YEARS AFTER PLANTING.

EXISTING SITE SOIL FREE OF CONSTRUCTION DEBRIS.

BACKFILL PLANTING HOLE WITH A PLANTING MIX CONSISTING OF LOAM TOPSOIL 25%-50%, COURSE TO MEDIUM SAND 50%-60%, PARTICULATE-FREE GRADE MILLED PINE BARK 10%-15%.

IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 200 MM (8 IN.) INTO PLANTING HOLE.

PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.

NOTE: THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 2400 MM (8 FT.) SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAWING OR GRATING.

BENCHMARKS

BENCHMARK #1 ELEV. = 944.56 (NAVD88)
TOP OF NNE FLANGE BOLT NEXT TO "O" IN "OPEN", FIRE HYDRANT, 80' SOUTHWESTERLY OF CENTERLINE GRAND RIVER AVENUE, 25' NORTHWESTERLY OF CENTERLINE OF EASTERLY DRIVE TO #3401 W. GRAND RIVER AVENUE.

BENCHMARK #2 ELEV. = 943.01 (NAVD88)
TOP OF SOUTHERLY FLANGE BOLT NEXT TO "O" IN "OPEN", FIRE HYDRANT, NORTHEASTERLY OF GRAND RIVER AVENUE, SOUTHERLY FROM #3480 W. GRAND RIVER AVENUE.

LEGEND

- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED HYDRANT
- PROPOSED GATE VALVE
- PROPOSED SAN. M.H.
- PROPOSED STORM M.H.
- PROPOSED C.B.
- PROPOSED GRADES
- PROPOSED FIRST FLOOR ELEV.
- PROPOSED TOP OF CURB ELEV.
- PROPOSED TOP OF GROUND ELEV.
- PROPOSED TOP OF PAVT ELEV.
- PROPOSED TOP OF WALK ELEV.
- DENOTES S.E.S.C. KEYING SYSTEM

EX. LEGEND

- SET 1/2" BAR WITH CAP
- FOUND IRON AS NOTED
- DEED LINE
- DISTANCE NOT TO SCALE
- ASPHALT
- CONCRETE
- GRAVEL
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR ELEVATION
- SANITARY SEWER
- STORM SEWER
- WATER LINE
- GAS LINE
- UNDERGROUND TELEPHONE
- UNDERGROUND TELEVISION
- UNDERGROUND ELECTRIC
- OVERHEAD WIRES
- EDGE OF WOODS
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- CATCHBASIN
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- FIRE HYDRANT
- VALVE
- UTILITY POLE
- LIGHT POLE
- GUY POLE
- GUY WIRE
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LANDSCAPE AREA	REQUIREMENT	FACTOR	REQUIRED	PROVIDED
FRONT YARD ALONG W GRAND RIVER IN FRONT OF EXPANSION (±200')	1 DECIDUOUS SHADE OR EVERGREEN TREE PER 40 LINEAL FEET	(200/40 = 5)	5 TREES	1 EXISTING TREES 4 TREES PROPOSED 5 TOTAL TREES
	1 ORNAMENTAL TREE PER 100 LINEAL FEET	(200/100 = 2)	2 TREES	0 EXISTING TREE 2 TREES PROPOSED 2 TOTAL TREES
FOUNDATION LANDSCAPING	8 SHRUBS PER 40 FT.	((200/40)*8 = 40)	40 SHRUBS	0 EXISTING SHRUBS 40 PROPOSED SHRUBS 40 TOTAL SHRUBS
	1 ORNAMENTAL TREE PER 35 LINEAL FEET	60 FT/35 = 2	2 TREES	0 EXISTING 2 PROPOSED 2 TOTAL TREES
	5 SHRUBS PER 35 LINEAL FT.	((60 FT/35)*5 = 9)	9 SHRUBS	0 EXISTING 9 PROPOSED 9 TOTAL SHRUBS

60 LF OF BUILDING FRONTAGE, WITH EXISTING ENTRANCE AND SIDEWALK IN FRONT OF THE BUILDING.

PER ORDINANCE REQUIRED FOUNDATION LANDSCAPING:
ORNAMENTAL TREE - LINEAL FT/35 = 60/35 = 2 TREES
SHRUBS - 5*LINEAL FT/35 = 5*60/35 = 9 SHRUBS

(WITH EXISTING BUILDING AND WALK IN PLACE FOUNDATION PLANTING SHOWN JUST PAST SIDEWALK)



STATE OF MICHIGAN
GREGORY A. PETRU
ENGINEER
NO. 50958
LICENSED PROFESSIONAL ENGINEER

KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS
2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047
Marshall Office
Ph. 269-781-9800

DITCH WITCH EXPANSION
LANDSCAPE PLAN

REVISIONS
11-13-25 PRELIMINARY SITE PLAN
1-6-26 SITE PLAN SUBMITTAL
2-16-26 SITE PLAN SUBMITTAL
2-27-26 SITE PLAN SUBMITTAL
3-25-26 SITE PLAN REVISION

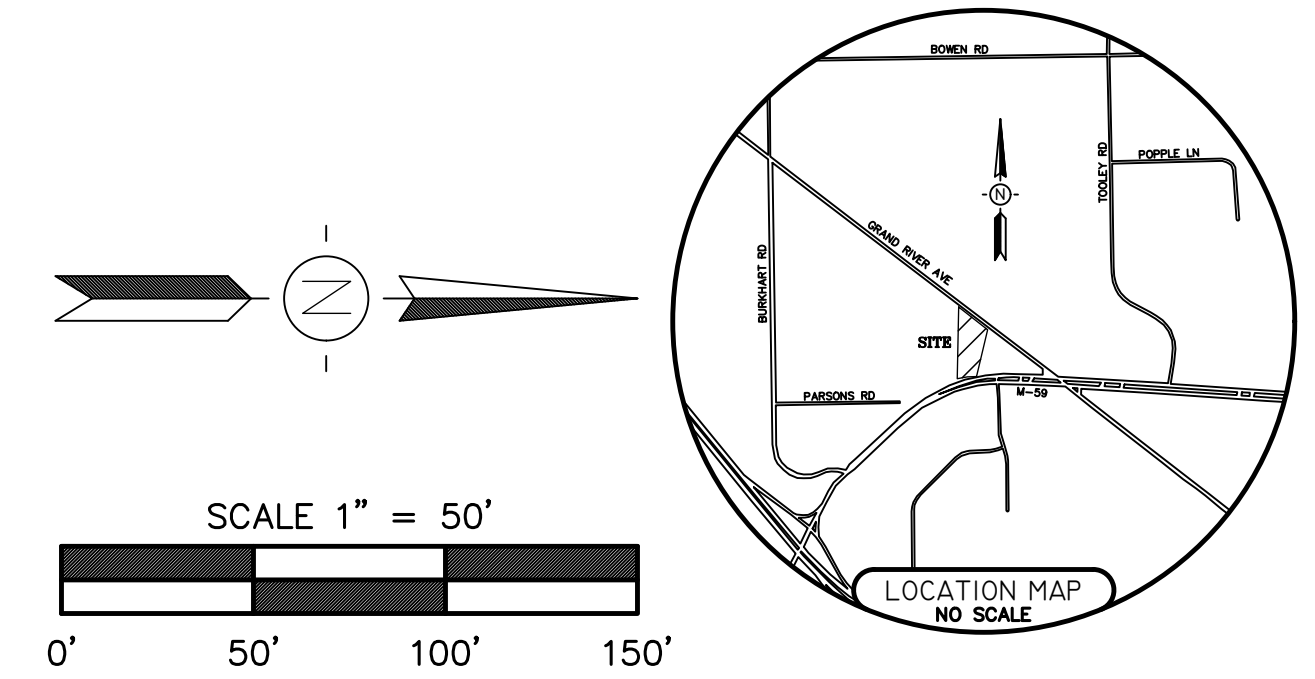
SCALE: 1" = 50'
DATE: 2-16-26
AUTHORIZED BY: DITCH WITCH SALES OF MICHIGAN

DESIGNER: GREGORY A. PETRU
PROJECT MGR. GREGORY A. PETRU
APPROVED BY: GREGORY A. PETRU
JOB #: E-104648

DITCH WITCH EXPANSION

HOWELL, LIVINGSTON COUNTY, MICHIGAN

DENOTES EXISTING DRAINAGE FLOW →
 DENOTES PROPOSED DRAINAGE FLOW →



BENCHMARKS

BENCHMARK #1 ELEV. = 944.56 (NAVD88)
 TOP OF NNE FLANGE BOLT NEXT TO "O" IN
 "OPEN", FIRE HYDRANT, 80' SOUTHWESTERLY
 OF CENTERLINE GRAND RIVER AVENUE, 25'
 NORTHWESTERLY OF CENTERLINE OF EASTERLY
 DRIVE TO #3401 W. GRAND RIVER AVENUE.

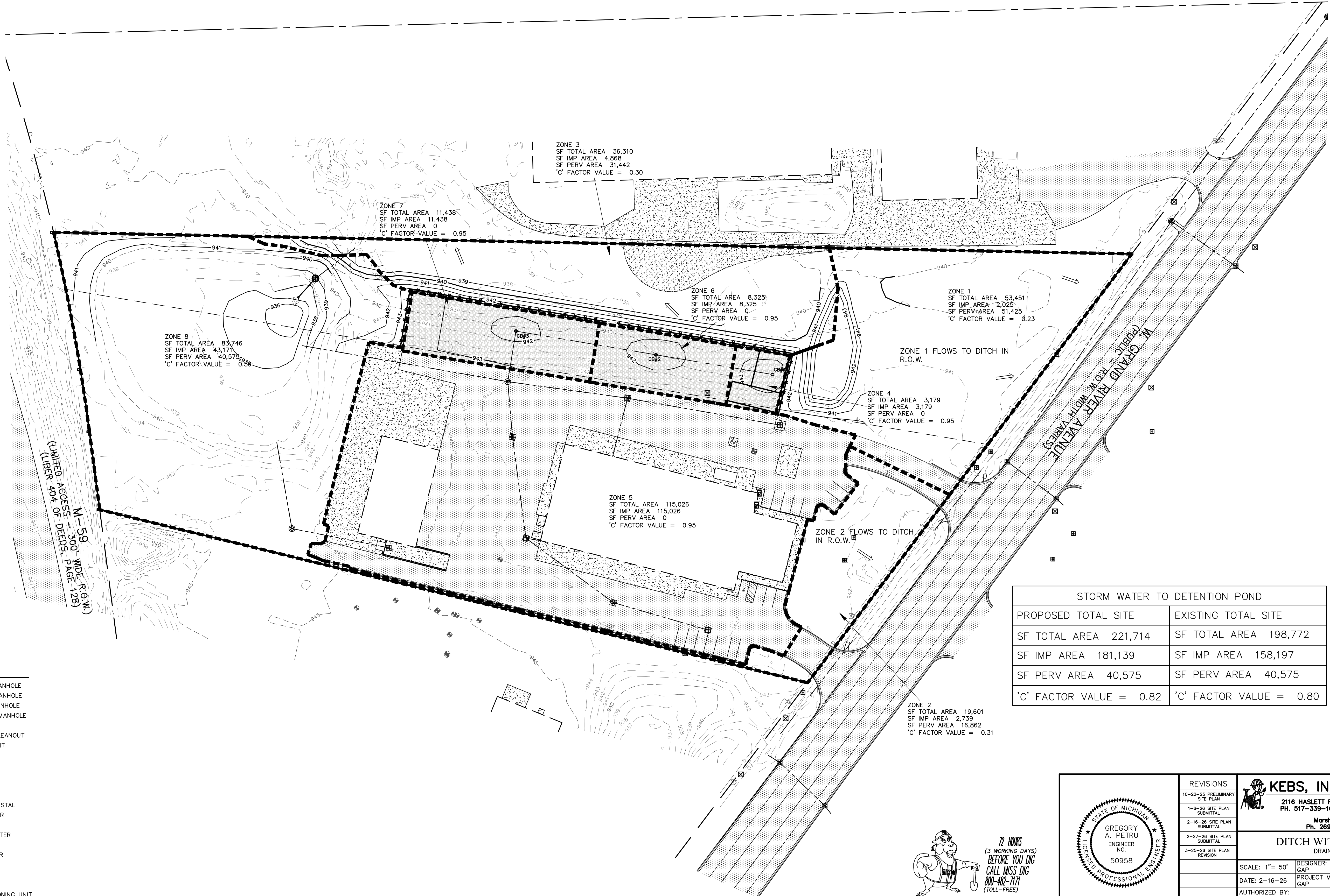
BENCHMARK #2 ELEV. = 943.01 (NAVD88)
 TOP OF SOUTHERLY FLANGE BOLT NEXT TO "O"
 IN "OPEN", FIRE HYDRANT, NORTHEASTERLY OF
 GRAND RIVER AVENUE, SOUTHERLY FROM
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LEGEND

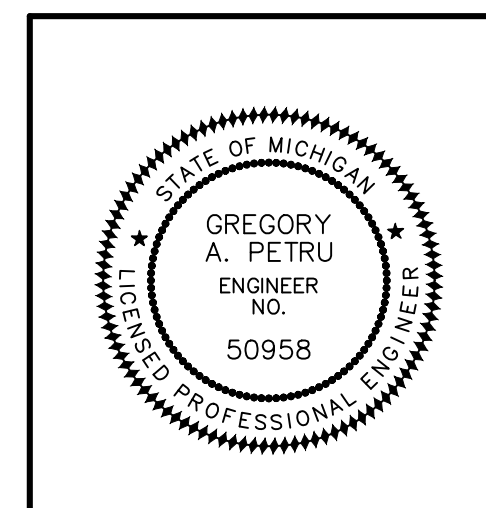
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED HYDRANT
- PROPOSED GATE VALVE
- PROPOSED SAN. M.H.
- PROPOSED STORM M.H.
- PROPOSED C.B.
- PROPOSED GRADES
- PROPOSED FIRST FLOOR ELEV.
- ▲ 1/4" 800.00 PROPOSED TOP OF CURB ELEV.
- ▲ 1/8" 800.00 PROPOSED TOP OF GROUND ELEV.
- ▲ 1/8" 800.00 PROPOSED TOP OF PAVT ELEV.
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STORM WATER TO DETENTION POND	
PROPOSED TOTAL SITE	EXISTING TOTAL SITE
SF TOTAL AREA 221,714	SF TOTAL AREA 198,772
SF IMP AREA 181,139	SF IMP AREA 158,197
SF PERV AREA 40,575	SF PERV AREA 40,575
'C' FACTOR VALUE = 0.82	'C' FACTOR VALUE = 0.80



REVISIONS 10-22-25 PRELIMINARY SITE PLAN 1-6-26 SITE PLAN SUBMITTAL 2-16-26 SITE PLAN SUBMITTAL 2-27-26 SITE PLAN SUBMITTAL 3-25-26 SITE PLAN REVISION	KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS 2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047 Marshall Office Ph. 269-781-9800
DESIGNER: G.A.P. PROJECT MGR. G.A.P. AUTHORIZED BY: DITCH WITCH SALES OF MICHIGAN	APPROVED BY: G.A.P. SHEET D1 OF 7 JOB #: E-104648

SURVEY#

Storm Water Narrative – Ditch Witch Expansion:

A parcel of land zoned as industrial flex zone (7.60 Acres), located South of Grand River Ave and North M-59, is proposed to be developed. A large portion of the parcel is to be undisturbed (5.54 Acres). The new site plan includes parking spaces and a gravel storage area. Storm water detention exists on-site, however, it is proposed to be modified. It will continue to be discharged at the West side of the site as it is currently. For the 100-year, bank full and first flush volumes, a spreadsheet was utilized to determine the required amount of storage the detention basin on site would need to provide.

Allowable Discharge and 'C' Calculation:

The 'C' factor was calculated using 0.95 for impervious area and 0.20 for pervious area. The drainage map provided shows the 'C' value calculation. Using the calculations provided in Section 2 of the Livingston County Drain Commission Stormwater Management Procedures, the allowable outflow release rate was determined to be 0.765 cfs/acre. This value was used in determining the 100-year volume for the detention basin.

First Flush, Bank Full and 100-Year Requirements:

First Flush = 1" of rain over contributing watershed = 3,630 x 5.09 acres = 18,476CFT (See Spreadsheets)
 2-yr/24-hr Volume increase = 1,797 CFT (See EGLE Spreadsheet) (Retain in pond)
 Bankfull Volume: 34,089 cft (see outlet structure spreadsheet, provided at outlet structure)
 100-Year Volume (Prop. Basin) = 39,733 CFT (See Spreadsheet) (100-Yr Elevation 939.30 – Top of Pond 941.50)

Volume Available:

936	958 sf	
937	5,056	3,007 cft (Retained below outlet)
938	10,510	7,783
939	32,208	21,359
940	39,314	35,761
941	43,172	41,243
Total =		106,146 CFT (from 937-941)
		(From 937.11-941) = 105,290 cft > 39,733 CFT

Detention Requirement and Discharge Allowance for Livingston County Sites

Storm Outlet: _____ POND _____ Existing "C" Value 0.65	
Job Name: _____ DITCH WITCH EXPANSION _____ Proposed "C" Value 0.82	
Job Number: _____ E-104648 _____ Maximum Allowable Outflow (CFS) 3.92	
Drainage Area (Acres) _____ 5.09 _____ Storm Recurrence Interval (Yrs) 100	
Water Quality Control (WQ) _____	C: Post-development runoff coefficient
V ₁₀₀ = 3,630 x C x A _____	A: Contributing area (acres)
15150.59634 _____	V ₁₀₀ : Required volume (cft)
Channel Protection Volume Control (CPVC) _____	CPVC: in cft
CPVC = 4,719 x C x A _____	
19695.77524 _____	
Channel Protection Rate Control (CPRC) _____	CPRC: Required extended detention volume (cft)
CPRC = 6,897 x C x A _____	
28786.13305 _____	
Allowable Release Rate (Q ₁₀₀) _____	Q ₁₀₀ : Allowable release rate (cfs/acre)
Q ₁₀₀ = 1.1055-0.206ln(A) _____	
0.770284814 _____	
100-Year Post-Development Peak Flow Rate Q _{100P} _____	Q _{100P} : Allowable 100-year post-development peak flow rate (cfs)
Q _{100P} = Q ₁₀₀ x A _____	
3.920672675 _____	
100-Year Peak Runoff Volume (V _{100P}) _____	V _{100P} : Post-development 100-year runoff volume (in cft)
V _{100P} = 18,985 x C x A _____	
79238.03623 _____	
100-Year Peak Inflow Rate (Q _{100P}) _____	Q _{100P} : 100-year post-development peak inflow rate (cfs)
Q _{100P} = C x I _{100P} x A _____	I _{100P} : 100-year peak rainfall intensity
28.10126106 _____	
100-Year Peak Rainfall Intensity (I _{100P}) _____	Tc: Site-specific time of concentration for the development (mins)
I _{100P} = 83.3 / (Tc + 9.17) ^{0.11} _____	
6.73290842 _____	
Storage Curve Factor for 100-Year Detention Volume (R) _____	R: Storage curve factor (dimensionless)
R = (0.206-0.15ln(Q _{100P} /Q ₁₀₀)) _____	
0.501432682 _____	
100-Year Detention Basin Size (V _{100D}) _____	V _{100D} : Required 100-year detention volume (cft)
V _{100D} = (V _{100P} x R) - V _{CPVC} _____	V _{CPVC} : Provided CPVC volume (cft)
39732.54102 _____	

Calculations for Stormwater Runoff Volume Control

SITE NAME: _____ DITCH-WITCH EXPANSION _____

Total Site Disturbed Area: _____ 2.058 _____ acres

2-Year, 24-Hour Rainfall: _____ 2.26 _____ in (See Rainfall Tab for regional rainfall value or site specific rainfall event may be substituted with DNRE approval)

Pre-Development Conditions

Cover Type	Soil Type	Area (sf)	Area (ac)	CN (from TR-55)	S	Q Runoff ¹ (in)	Runoff Volume ² (ft ³)
						$\frac{1000}{CN} \left(\frac{P - 0.25}{P - 0.85} \right)^2 Q \times 1 / 12 \times A$	
Woods / Meadow	A	0		30	23.3	0.276778167	0
Open Space	A	0		39	15.6	0.051024795	0
Woods	B	0		55	8.2	0.04416834	0
Meadow	B	0		58	7.2	0.081818901	0
Open Space	B	0		61	6.4	0.130576857	0
Woods	C	0	0	70	4.3	0.345958241	0
Meadow	C	0		71	4.1	0.376751469	0
Open Space	C	0		74	3.5	0.478261754	0
Woods	D	0		77	3.0	0.594507903	0
Meadow	D	0		78	2.8	0.636803999	0
Open Space	D	56695.082	1.30	80	2.5	0.72713615	3435.420329
Impervious	N/A	32953.14	0.76	98	0.20	2.03228931	5580.859512
Other:	N/A	0		65	5.38	0.213114583	0
TOTAL:	N/A	89648.2	2.1	N/A	N/A	N/A	9,016

Post-Development Conditions

Cover Type	Soil Type	Area (sf)	Area (ac)	CN*	S	Q Runoff ¹ (in)	Runoff Volume ² (ft ³)
Impervious	N/A	55910.131	1.28	98	0.2	2.03228931	9468.796829
Open Space	C	33741.576	0.77	74	3.5	0.478261754	1344.775443
Open Space	D	0		80	2.5	0.72713615	0
Other:		0		64	5.6	0.190565828	0
TOTAL:	N/A		2.1	N/A	N/A	N/A	10,814

Runoff Volume Increase (ft³): 1,797

Runoff Volume Increase = (Post-Dev. Runoff Volume) MINUS (Pre-Dev. Runoff Volume)

1. **Runoff (in) = Q = (P - Ia)² / (P - Ia) + S** Where: P = 2-Year, 24-Hour Rainfall (in)
 Ia = 0.25 therefore; S = 1000/CN - 10
Runoff (in) = Q = (P - 0.25)² / (P + 0.85) CN = Curve Number
 Q = Runoff (in) Area = Area of specific land cover (ft²)

2. **Runoff Volume (ft³) = Q x 1/12 x Area**

* Runoff Volume must be calculated separately for pervious and impervious areas (without using a weighted CN)

STORM DRAINAGE COMPUTATIONS BY: _____ PROJECT _____ DITCH-WITCH _____

KEBS, INC. SHEET # _____ 1 _____ OF _____ 1 _____

2116 Haslett Road Haslett, MI 48840 CALCULATED BY: _____ gp _____ DATE: 2/27/2026

(517) 339-1014 CHECKED BY: _____ DATE: _____

10 YEAR STORM

STR # _____ CB110 _____ TO STR# _____ CB109 _____ INCREMENT AC. = _____ 0.26 _____ "C" = _____ 0.90 _____

INCREMENT "CA" = _____ 0.24 _____ TOT AC. = _____ 0.26 _____ TOT "CA" = _____ 0.24 _____ TC = _____ 10.00 _____ "T" = _____ 5.00 _____

Q10 _____ 1.20 _____ SIZE _____ 12 _____ "V" = _____ 1.94 _____ LENGTH _____ 99 _____ TIS _____ 0.85 _____ SLOPE = _____ 0.18% _____

INV. UP = _____ 938.60 _____ INV. DOWN = _____ 938.41 _____ HYD. % _____ 0.11% _____ REMARKS _____

HYD EL UP = _____ 940.42 _____ HYD EL DOWN = _____ 940.31 _____

RIM EL _____

STR # _____ CB109 _____ TO STR# _____ CB108 _____ INCREMENT AC. = _____ 0.18 _____ "C" = _____ 0.90 _____

INCREMENT "CA" = _____ 0.17 _____ TOT AC. = _____ 0.44 _____ TOT "CA" = _____ 0.41 _____ TC = _____ 10.85 _____ "T" = _____ 4.88 _____

Q10 _____ 2.00 _____ SIZE _____ 12 _____ "V" = _____ 2.55 _____ LENGTH _____ 109 _____ TIS _____ 0.71 _____ SLOPE = _____ 0.14% _____

INV. UP = _____ 938.33 _____ INV. DOWN = _____ 938.18 _____ HYD. % _____ 0.31% _____ REMARKS _____

HYD EL UP = _____ 940.31 _____ HYD EL DOWN = _____ 939.97 _____

RIM EL _____

STR # _____ CB108 _____ TO STR# _____ CB107 _____ INCREMENT AC. = _____ 0.28 _____ "C" = _____ 0.90 _____

INCREMENT "CA" = _____ 0.25 _____ TOT AC. = _____ 0.72 _____ TOT "CA" = _____ 0.66 _____ TC = _____ 11.56 _____ "T" = _____ 4.79 _____

Q10 _____ 3.16 _____ SIZE _____ 12 _____ "V" = _____ 4.03 _____ LENGTH _____ 103 _____ TIS _____ 0.43 _____ SLOPE = _____ 0.31% _____

INV. UP = _____ 938.13 _____ INV. DOWN = _____ 937.81 _____ HYD. % _____ 0.78% _____ REMARKS _____

HYD EL UP = _____ 939.97 _____ HYD EL DOWN = _____ 939.17 _____

RIM EL _____

STR # _____ CB107 _____ TO STR# _____ CB106 _____ INCREMENT AC. = _____ 0.23 _____ "C" = _____ 0.90 _____

INCREMENT "CA" = _____ 0.21 _____ TOT AC. = _____ 0.96 _____ TOT "CA" = _____ 0.87 _____ TC = _____ 11.99 _____ "T" = _____ 4.73 _____

Q10 _____ 4.12 _____ SIZE _____ 15 _____ "V" = _____ 3.35 _____ LENGTH _____ 56 _____ TIS _____ 0.28 _____ SLOPE = _____ 0.10% _____

INV. UP = _____ 937.75 _____ INV. DOWN = _____ 937.69 _____ HYD. % _____ 0.41% _____ REMARKS _____

HYD EL UP = _____ 939.17 _____ HYD EL DOWN = _____ 938.94 _____

RIM EL _____

STR # _____ TO STR# _____ INCREMENT AC. = _____ "C" = _____

INCREMENT "CA" = _____ TOT AC. = _____ TOT "CA" = _____ TC = _____ "T" = _____

Q10 _____ SIZE _____ "V" = _____ LENGTH _____ TIS _____ SLOPE = _____

INV. UP = _____ INV. DOWN = _____ HYD. % _____ REMARKS _____

HYD EL UP = _____ HYD EL DOWN = _____

RIM EL _____

OUTLET STRUCTURE

First Flush Volume

The first flush is defined as the first 1" of rain over the acreage

$$FF = \left(1 + \frac{1}{12} \left(\frac{43560 \text{ ft}^2}{A} \right) \right) A$$

$$FF = \left[\left(1 + \frac{1}{12} \left(\frac{43560 \text{ ft}^2}{5.09} \right) \right) \right] (5.09)$$

$$FF = 18476 \text{ ft}^2$$

First flush of runoff

The average allowable release rate for runoff resulting from 1" of rain over watershed area in 24 hours:

$$Q_f = \frac{V_f}{T_f}$$

$$Q_f = \frac{18476 \text{ ft}^2}{(24 \text{ hr})(3600 \text{ sec/hr})}$$

$$Q_f = 0.214 \text{ cfs}$$

Place openings in standpipe at bottom of basin: 937.11

To determine the appropriate size orifice to release the first flush volume, an average head value can be used in the orifice equation.

$$h_{ave} = \frac{2}{3} (elev_{top} - elev_{base} + \frac{V_{ave}^2}{2g})$$

$$h_{ave} = \frac{2}{3} (938.5 - 937.11)$$

$$h_{ave} = 0.87 \text{ ft (to center of orifice hole)}$$

$$A = \frac{Q_f}{0.62 \sqrt{2gh_{ave}}}$$

$$A = \frac{0.214 \text{ cfs}}{0.62 \sqrt{2(32.2 \text{ ft/sec}^2)(0.87 \text{ ft})}}$$

$$A = 0.046 \text{ ft}^2$$

The number and size of orifices to meet the area requirements is variable. In general larger holes are preferable, although multiple outlets should be used if possible. For this project, we will choose a 2.06" diameter orifice (which has an area of: 0.0231 ft²)

$$\# = \frac{0.046 \text{ ft}^2}{0.0231 \text{ ft}^2}$$

$$\# = 2.00$$

Therefore, use 2 - 2.06" diameter holes @ elev. 937.11 for first flush of runoff.

The detention time for 2 - 2.06" diameter holes:

$$Q_{new} = A_{new} (0.62) \sqrt{2gh_{ave}}$$

$$Q_{new} = 0.0231 \text{ ft}^2 (2) (0.62) \sqrt{2(32.2 \text{ ft/sec}^2)(0.87 \text{ ft})}$$

$$Q_{new} = 0.2143 \text{ cfs}$$

$$T_{new} = \frac{V_f}{Q_{new}}$$

$$T_{new} = \frac{18476 \text{ ft}^3}{0.2143 \text{ cfs} (3600 \text{ sec/hr})}$$

$$T_{new} = 23.9 \text{ hr}$$

Bankfull Flood Volume:

The bankfull storm is defined as the 24 hour, 2-year storm event:

$$V_{bf} = (2.25^{1/12})(43560 \text{ ft}^2/\text{ac}) A C$$

$$V_{bf} = 8167.5 \times A \times C$$

$$V_{bf} = 34089 \text{ ft}^3$$

The bankfull flood must be detained 24-40 hours; check the discharge through the first flush orifice to see if additional holes are necessary

$$h_{ave} = \frac{2}{3} (elev_{top} - elev_{base})$$

$$h_{ave} = \frac{2}{3} (939.14 - 937.11)$$

$$h_{ave} = 1.30 \text{ ft (To center of orifice hole)}$$

$$Q = A_{bf} (0.62) \sqrt{2gh_{ave}}$$

$$Q = 0.0231 \text{ ft}^2 (2) (0.62) \sqrt{2(32.2 \text{ ft/sec}^2)(1.30)}$$

$$Q_{ff} = 0.2617 \text{ cfs}$$

$$T = \frac{V_f}{Q}$$

$$T = \frac{34089 \text{ ft}^3}{0.2617 \text{ cfs} (3600 \text{ sec/hr})}$$

$$T = 36.2 \text{ hr}$$

Because the holding time exceeds 40 hours, it does not so skip to 100-yr

$$V_{rem} = V_f - V_{ff}$$

$$V_{rem} = 15,613 \text{ cft}$$

$$T_{rem} = \frac{V_{rem}}{Q_{ff}}$$

$$T_{rem} = 16.1 \text{ hrs}$$

Volume through 2 - 2.06" diameter holes:

$$h_{ave,ff} = (2/3) (elev_{top} - elev_{base}) + (elev_{top} - elev_{base})$$

$$h_{ave,ff} = 1.3533 \text{ ft}$$

Q1 will be defined as the discharge through the ff orifices when both the ff and bf holes are contribut.

$$Q_1 = 0.62 A_{ff} \sqrt{2gh_{ave,ff}}$$

$$Q_1 = 0.2674 \text{ cfs}$$

$$V_1 = T_{rem} Q_1 (3600 \text{ sec/hr})$$

$$V_1 = 15,456 \text{ cft}$$

The leftoff

$$V_2 = V_{rem} - V_1$$

$$V_2 = 157 \text{ cft}$$

$$Q_2 = V_2 / (T_{rem} (3600 \text{ sec/hr}))$$

$$Q_2 = 0.00 \text{ cfs}$$

$$h_{ave,bf} = 2/3(elev_{top} - elev_{base})$$

$$h_{ave,bf} = 0.37 \text{ ft (to center of orifice hole)}$$

$$A_2 = Q_2 / (0.62 \sqrt{2gh_{ave,bf}})$$

$$A_2 = 0.00 \text{ sf}$$

The number and size of orifices to meet the area requirements is variable. In general larger holes are preferable, although multiple outlets should be used if possible. For this project, we will choose a 2.06" diameter orifice (which has an area of: 0.0231 ft²)

$$\# \text{ of holes} = \frac{A_2 / \text{Area of } 2.1 \text{ " orifice}}{\# \text{ of holes} = 0.04}$$

Therefore, use 0 - 2.06" Diameter Holes @ elev. 938.5 for the bankfull flood

100 year flood:

$$Q_a = 0.15 \text{ cfs/ft}$$

$$Q_a = 0.76 \text{ cfs}$$

Qa is the total allowable flow. Calculate the maximum flow passing through the first flush and bankfull orifices, using the total head, and subtract from Qa to determine

$$h_{tot} = (elev_{100\text{-year}} - elev_{bot}) = 2.10 \text{ ft}$$

$$h_{tot,ff} = (elev_{100\text{-year}} - elev_{ff}) = 0.71 \text{ ft}$$

$$Q_{ff} + Q_{bf} = 0.62 A_{ff} \sqrt{2gh_{tot,ff}} + 0.62 A_{bf} \sqrt{2gh_{tot,bf}}$$

$$Q_{ff} + Q_{bf} = 0.33 \text{ cfs}$$

$$Q_{100} = Q_a - (Q_{ff} + Q_{bf})$$

$$Q_{100} = 0.43 \text{ cfs}$$

$$A_{100} = Q_{100} / 0.62 \sqrt{2gh_{tot}}$$

$$A_{100} = 0.22 \text{ ft}^2$$

The number and size of orifices to meet the area requirements is variable. In general larger holes are preferable, although multiple outlets should be used if possible. For this project, we will choose a 2.38" diameter orifice (which has an area of: 0.0309 ft²)

$$\# \text{ of } 2 \text{ " } 100\text{-year flood holes} = A_{100} / \text{area of Hole}$$

$$\# \text{ of } 2 \text{ " } 100\text{-year flood holes} = 6.99$$

Therefore, use 7 - 2.38" Diameter holes @ elev. 939.14 for the 100-year flood

STORM DRAINAGE COMPUTATIONS BY: _____ PROJECT _____ DITCH-WITCH _____

KEBS, INC. SHEET # _____ 2 _____ OF _____ 2 _____

2116 Haslett Road Haslett, MI 48840 CALCULATED BY: _____ gp _____ DATE: 2/27/2026

(517) 339-1014 CHECKED BY: _____ DATE: _____

10 YEAR STORM

STR # _____ CB1 _____ TO STR# _____ CB2 _____ INCREMENT AC. = _____ 0.07 _____ "C" = _____ 0.95 _____

INCREMENT "CA" = _____ 0.07 _____ TOT AC. = _____ 0.07 _____ TOT "CA" = _____ 0.07 _____ TC = _____ 10.00 _____ "T" = _____ 5.00 _____

Q10 _____ 0.35 _____ SIZE _____ 12 _____ "V" = _____ 2.84 _____ LENGTH _____ 115 _____ TIS _____ 0.67 _____ SLOPE = _____ 0.39% _____

INV. UP = _____ 938.75 _____ INV. DOWN = _____ 938.30 _____ HYD. % _____ 0.01% _____ REMARKS _____

HYD EL UP = _____ 939.82 _____ HYD EL DOWN = _____ 939.81 _____

RIM EL _____

STR # _____ CB2 _____ TO STR# _____ CB3 _____ INCREMENT AC. = _____ 0.19 _____ "C" = _____ 0.95 _____

INCREMENT "CA" = _____ 0.18 _____ TOT AC. = _____ 0.26 _____ TOT "CA" = _____ 0.25 _____ TC = _____ 10.67 _____ "T" = _____ 4.91 _____

Q10 _____ 1.23 _____ SIZE _____ 12 _____ "V" = _____ 2.53 _____ LENGTH _____ 143 _____ TIS _____ 0.94 _____ SLOPE = _____ 0.31% _____

INV. UP = _____ 938.30 _____ INV. DOWN = _____ 937.85 _____ HYD. % _____ 0.12% _____ REMARKS _____

HYD EL UP = _____ 939.81 _____ HYD EL DOWN = _____ 939.64 _____

RIM EL _____

STR # _____ CB3 _____ TO STR# _____ CB106 _____ INCREMENT AC. = _____ 0.26 _____ "C" = _____ 0.95 _____

INCREMENT "CA" = _____ 0.25 _____ TOT AC. = _____ 0.52 _____ TOT "CA" = _____ 0.50 _____ TC = _____ 11.61 _____ "T" = _____ 4.78 _____

Q10 _____ 2.39 _____ SIZE _____ 15 _____ "V" = _____ 2.88 _____ LENGTH _____ 51 _____ TIS _____ 0.29 _____ SLOPE = _____ 0.30% _____

INV. UP = _____ 937.85 _____ INV. DOWN = _____ 937.69 _____ HYD. % _____ 0.14% _____ REMARKS _____

HYD EL UP = _____ 939.64 _____ HYD EL DOWN = _____ 939.57 _____

RIM EL _____

STR # _____ CB106 _____ TO STR# _____ POND _____ INCREMENT AC. = _____ 0.00 _____ "C" = _____ 0.00 _____

INCREMENT "CA" = _____ 0.00 _____ TOT AC. = _____ 1.39 _____ TOT "CA" = _____ 1.37 _____ TC = _____ 12.27 _____ "T" = _____ 4.70 _____

Q10 _____ 6.44 _____ SIZE _____ 18 _____ "V" = _____ 3.64 _____ LENGTH _____ 209 _____ TIS _____ 0.96 _____ SLOPE = _____ 0.19% _____

INV. UP = _____ 937.69 _____ INV. DOWN = _____ 937.28 _____ HYD. % _____ 0.38% _____ REMARKS _____

HYD EL UP = _____ 939.57 _____ HYD EL DOWN = _____ 938.78 _____

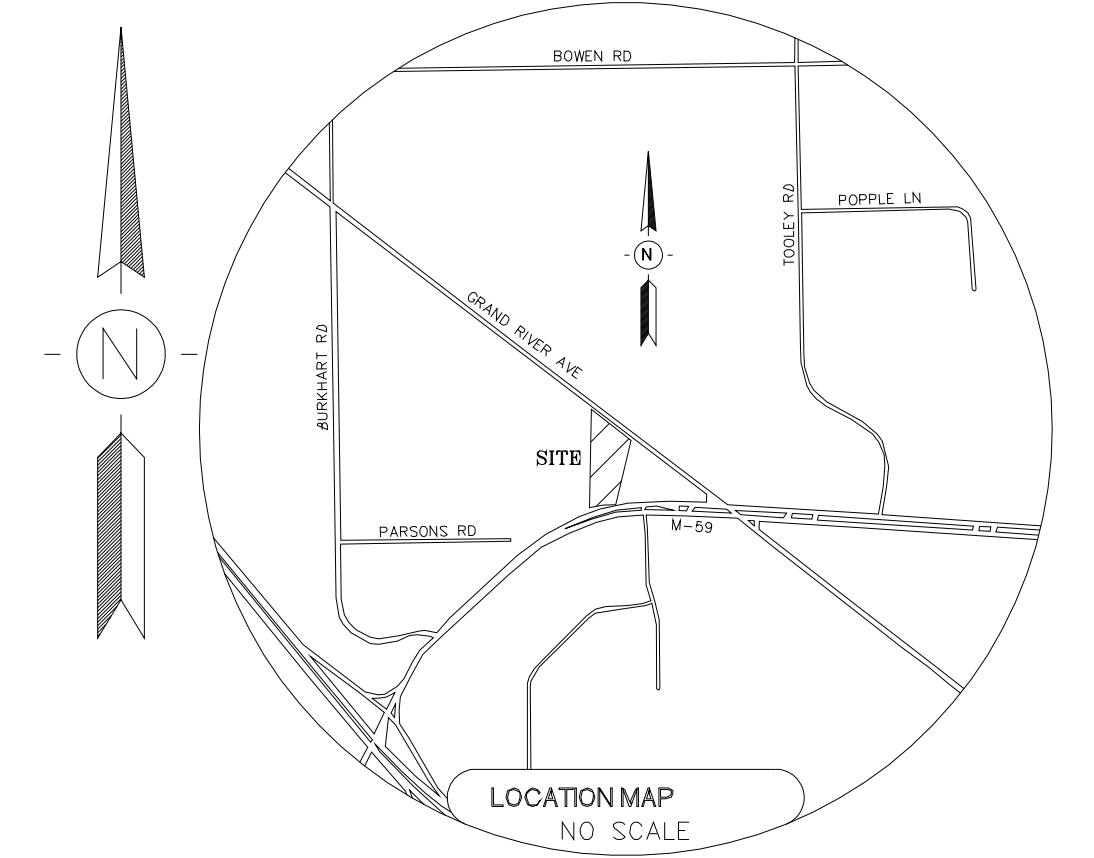
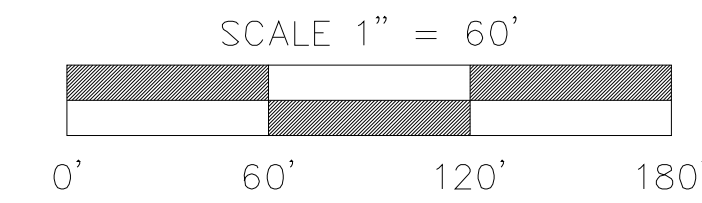
RIM EL _____

SURVEY# _____

	REVISIONS 10-22-25 PRELIMINARY SITE PLAN 1-6-26 SITE PLAN SUBMITTAL 2-16-26 SITE PLAN SUBMITTAL 2-27-26 SITE PLAN SUBMITTAL 3-25-26 SITE PLAN REVISION	KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS 2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047 Marshall Office Ph. 269-781-9800	
	DITCH WITCH EXPANSION STORM CALCULATIONS		
	SCALE: 1" = 50' DATE: 2-16-26 AUTHORIZED BY:	DESIGNER: PROJECT MGR. DITCH WITCH SALES OF MICHIGAN	APPROVED BY: GAP SHEET D2 OF 7 JOB #: E-104648

DITCH WITCH EXPANSION

HOWELL, LIVINGSTON COUNTY, MICHIGAN



SITE DATA
 ZONED: IFZ (INDUSTRIAL FLEX ZONE)
 MINIMUM OF 200 FT AT BUILDING SETBACK LINE

BUILDING SETBACKS
 FRONT - 50 FEET
 SIDES - 10 FEET EACH SIDE MINIMUM TOTAL 25 FT
 REAR - 10 FEET

BUILDING/UNIT DATA
 MAXIMUM BUILDING HEIGHT = 70 FT
 PRIMARY BUILDING HEIGHT = ±25 FT
 MINIMUM AREA OF LOT = 40,000 SF
 MINIMUM WIDTH WITHIN SETBACK = 120 FT
 MAXIMUM LOT COVERAGE = 75%
 LOT COVERAGE = 158,800/331,077 = 0.48%

PARKING
 REQUIRED PARKING FOR INDUSTRIAL USES TO PROVIDE ONE (1) PARKING SPACE FOR EVERY EMPLOYEE WORKING DURING THE LARGEST WORKING SHIFT

EMPLOYEES AT LARGEST SHIFT = 17 SPACES
 TOTAL PARKING SPACES = 19 SPACES

UTILITIES
 WATER: CITY PUBLIC WATER MAIN
 SANITARY: CITY PUBLIC SANITARY
 STORM: ON-SITE DETENTION BASIN

SURVEYOR'S NOTES:

- This plan was made at the direction of the parties named hereon and is intended solely for their immediate use. Survey prepared from fieldwork performed in October 2025.
- All bearings are Michigan State Plane South Zone grid bearings obtained from GPS observations using corrections obtained from the nearest National Geodetic Survey C.O.R.S. station.
- All dimensions shown are as-measured unless otherwise noted.
- All elevations are North American Vertical Datum of 1988 (NAVD88).
- All dimensions are in feet and decimals thereof.
- No building tie dimensions are to be used for establishing the property lines.
- Easements, if any, not shown hereon.
- By scaled map location and graphic plotting only, this property lies entirely within Flood Zone "X", areas outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Map for the Township of Howell, Livingston County, Michigan, Community Panel Nos. 260844 0188 D & 260844 0301 D, dated September 17, 2008.
- Utility information as shown was obtained from available public records and from supporting field observations, where possible, and is subject to verification in the field by the appropriate authorities prior to use for construction. MISS DIG was not contacted to mark utilities on site.
- Wetlands, if any, not shown hereon.

BENCHMARKS

BENCHMARK #1 ELEV. = 944.56 (NAVD88)
 TOP OF NINE FLANGE BOLT NEXT TO "O" IN "OPEN", FIRE HYDRANT, 80' SOUTHWESTERLY OF CENTERLINE GRAND RIVER AVENUE, 25' NORTHWESTERLY OF CENTERLINE OF EASTERLY DRIVE TO #3401 W. GRAND RIVER AVENUE.

BENCHMARK #2 ELEV. = 943.01 (NAVD88)
 TOP OF SOUTHERLY FLANGE BOLT NEXT TO "O" IN "OPEN", FIRE HYDRANT, NORTHEASTERLY OF GRAND RIVER AVENUE, SOUTHERLY FROM #3480 W. GRAND RIVER AVENUE.

LEGEND

- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED HYDRANT
- PROPOSED GATE VALVE
- PROPOSED SAN. M.H.
- PROPOSED STORM M.H.
- PROPOSED C.B.
- PROPOSED GRADES
- PROPOSED FIRST FLOOR ELEV.
- PROPOSED TOP OF CURB ELEV.
- PROPOSED TOP OF GROUND ELEV.
- PROPOSED TOP OF PAY' ELEV.
- PROPOSED TOP OF WALK ELEV.
- PROPOSED TOP OF WALK ELEV. DENOTES S.E.S.C. KEYING SYSTEM

EX. LEGEND

- SET 1/2" BAR WITH CAP
- FOUND IRON AS NOTED
- DEED LINE
- DISTANCE NOT TO SCALE
- ASPHALT
- CONCRETE
- GRAVEL
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR ELEVATION
- SANITARY SEWER
- STORM SEWER
- WATER LINE
- GAS LINE
- UNDERGROUND TELEPHONE
- UNDERGROUND TELEVISION
- UNDERGROUND ELECTRIC
- OVERHEAD WIRES
- EDGE OF WOODS
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- CATCHBASIN
- SANITARY CLEANOUT
- FIRE HYDRANT
- VALVE
- UTILITY POLE
- LIGHT POLE
- GUY POLE
- GUY WIRE
- UTILITY PEDESTAL
- TRANSFORMER
- HANDHOLE
- ELECTRIC METER
- GAS METER
- WATER METER
- SIGN
- POST
- AIR CONDITIONING UNIT

① ARC = (R)146.06'
 RADIUS = (R)2106.86'
 Δ = (R)3°58'19"
 CHORD = (R)146.03'
 BRG. = (R)S81°36'10"W

② ARC = (R)57.87'
 RADIUS = (R)2106.86'
 Δ = (R)1°34'25"
 CHORD = (R)57.86'
 BRG. = (R)S79°49'47"W

③ ARC = 201.51'
 RADIUS = 2106.86'
 Δ = 5°28'48"
 CHORD = 201.43'
 BRG. = S79°46'53"W

Luminaire Locations

No.	Label	X	Y	Z	MH	Orientation	Tilt
1	FL	-159.19	-66.78	22.00	22.00	86.91	...
	FL-1	-158.66	-69.87	23.34	22.00	144.61	63.61
	FL-2	-158.87	-63.83	23.37	22.00	48.34	66.07
2	FL	-199.78	-312.15	22.00	22.00	97.94	...
	FL-1	-199.83	-315.16	23.38	22.00	147.46	67.40
	FL-2	-198.93	-309.32	23.38	22.00	58.70	67.01
3	FL	-179.09	-185.28	22.00	22.00	86.91	...
	FL-1	-178.57	-188.37	23.34	22.00	144.61	63.61
	FL-2	-178.78	-182.33	23.37	22.00	48.34	66.07

ZONING 301- INDUSTRIAL

Schedule

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot
FL	FL	3	LSI INDUSTRIES, INC.	SMA-LED-28L-ACR-W-UV0-50-BRZ-W-DIM-SF	LED Wide Flood 200watt		1	27000	0.96	400	

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.8 fc	14.2 fc	0.3 fc	47.3:1	9.3:1

APPLICANT/LAND OWNER:
 MICHIGAN UNDERGROUND SPECIALISTS LL
 3401 W GRAND RIVER AVE
 HOWELL, MI. 48855-7603
 PH: (517) 546-9848

ENGINEER/SURVEYOR:
 KEBS, Inc.
 2116 HASLETT RD.
 HASLETT, MI. 48840
 PH: (517) 339-1014

TAX ID # 4706-28-200-040

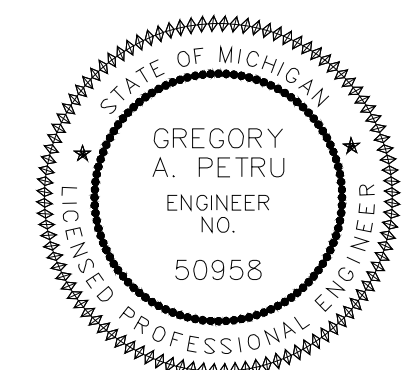
REVISIONS

11-13-25 SITE PLAN SUBMITTAL		
1-6-26 SITE PLAN SUBMITTAL		
2-16-26 SITE PLAN SUBMITTAL		
2-27-26 SITE PLAN SUBMITTAL		

KEYS, INC. KYES ENGINEERING BRYAN LAND SURVEYS
 2116 HASLETT ROAD, HASLETT, MI 48840
 PH. 517-339-1014 FAX. 517-339-8047
 Marshall Office Ph. 269-781-9800

DITCH WITCH EXPANSION
 SITE PLAN

SCALE: 1"= 60'	DESIGNER: GAP	APPROVED BY: GAP
DATE: 2-16-26	PROJECT MGR. GAP	SHEET 3 OF 7
AUTHORIZED BY: DITCH WITCH SALES OF MICHIGAN	JOB #:	E-104648





KEBS, INC.

March 27, 2026

Mr. Adam Jacqmain
Spicer Group, INC.
30300 Telegraph Rd, Suite 100
Bingham Farms, Michigan 48025

Re: Ditch Witch Expansion

Dear Mr. Adam Jacqmain:

Attached are the revised construction plans for the Ditch Witch Expansion project. Comments from your February 3, 2026 letter and from the PC meeting have been addressed as follows:

Recommendations:

1. Plans are to be submitted and reviewed by the Fire Marshal, Township Planner and Livingston County Drain Commissioner.
2. The grading along the West side of the site has been revised. The gravel section was reduced to 60' and the gravel section is proposed to all be captured and sent to the existing detention basin. The West side of the gravel will remain drainage as-is. It currently is flat but ultimately goes to the SW. With the gravel collecting all the proposed runoff, the drainage to the SW will be reduced.
3. The survey/legal description was discussed and was determined to be ok, so it was left alone.
4. A note has been added to the plans that the fence shall match the current fence that encompasses the site already, 6' high min. The owner shall submit fence cutsheets prior to installation for approval.
5. The site data table has been updated to include the total number of parking spaces, we are showing 19.

If you need anything additional or would like to see any adjustments let me know. I can be reached at (517) 339-1014 or emailed at gpetru@kebs.com.

Sincerely,

Greg Petru, P.E.
KEBS Inc.

Attachments: PDF set of plans



KEBS, INC.

March 27, 2026

Mr. Brady Heath
Carlisle Wortman Associates, INC.
117 N First Street, Suite 70
Ann Arbor, Michigan 48104

Re: Ditch Witch Expansion

Dear Mr. Heath:

Attached are the revised construction plans for the Ditch Witch Expansion project. Comments from your February 17, 2026, letter and from the Planning Commission meeting have been addressed as follows:

Revisions:

1. The height of the primary building is ± 25 ft and has been added to the site data table. The allowed height is 70 feet and it is well below that.
2. A front yard setback of 50 feet has been updated on the site plan.
3. An application for LCRC shall be processed.
4. The number of employees during the largest working shift is 17 and a total of 19 parking spaces are shown on the plan. The proposed parking area was removed since it needed to be paved.
5. Parking calculations have been added to the coversheet and the site plan.
6. Dimensions of the existing spaces have been added to ensure compliance with parking lot design standards.
7. The number of parking spaces have been added to the site data table in both the coversheet and the site plan.
8. A berm between the gravel storage expansion area and the right-of-way has been added to the site and grading plan and is detailed on the landscape plan. Since this site is already developed and landscaped along the frontage we are looking to add the berm/trees/shrubs immediately in front of the proposed gravel storage area only.
9. Parking lot landscaping has not been provided since there is no proposed parking anymore.
10. Deciduous and ornamental trees have been added along with shrubs based on calculations from the property line to the edge of the proposed expansion to calculate the number of trees and shrubs need to be added to the landscaping plan along with a table showing all these calculations.
11. The building frontage on the Grand River side is approximately 60 feet. 2 trees and 9 shrubs have been shown in front of the building in a planting bed.
12. The fence will match the existing fence according to the owner.
13. A new lighting plan that designs the light to be shielded and directed away from adjacent properties has been added to the submission.

If you need anything additional or would like to see any adjustments let me know. I can be reached at (517) 339-1014 or emailed at gpetru@kebs.com.



KEBS, INC.

Sincerely,

A handwritten signature in black ink that reads "Greg Petru".

Greg Petru, P.E.
KEBS Inc.

Attachments: PDF set of plans

April 8, 2026

Jonathan Hohenstein
Howell Township
3525 Byron Road
Howell, MI 48855

RE: Ditch Witch Expansion
Parcel ID #4706-28-200-040
Preliminary Site Plan Review, Second Review

Mr. Hohenstein,

We have received and reviewed Preliminary Site Plans for the proposed Ditch Witch Expansion at 3401 W Grand River Avenue. The plans were prepared by KEBS, INC, dated March 25, 2026, and were received on March 31, 2026. Based on our review, we offer the following comments:

General

The submitted plans satisfy the administrative information requirements for Preliminary Site Plan Review. The name of the proposed development is clearly identified as the Ditch Witch Expansion. Ownership of the property is listed as Michigan Underground Specialists, LLC, with the owner's address and contact information provided on the cover sheet. The drawings also identify KEBS, Inc. as the professionals responsible for preparing the site plans, including their address and contact information. A vicinity/location map depicting the general location of the project is included.

A boundary and topographic survey is provided that includes the property description and delineates the project boundaries with bearings and distances. The provided description closes within acceptable tolerance. The survey identifies the parcel as containing approximately 7.6 acres and depicts the existing developed condition of the site, including the location of the existing principal building and associated site improvements generally situated near the central portion of the property. Existing paved and gravel areas, as well as recorded easements are shown. Survey monuments, stakes, and irons are depicted where applicable. Existing natural features are identified, and no regulated floodplains, lakes, ponds, or streams are shown within the project area, with exception of the existing detention pond.

Site data included on the plans demonstrates conformance with the Industrial Flex (IF) zoning standards. Although no changes are being proposed to the existing buildings on the property, the required building setbacks of 35 feet front, 10 feet minimum on each side (25 feet total), and 10 feet rear are listed and the setbacks shown on the plans exceed these minimum values. The zoning ordinance permits a maximum lot coverage of 75 percent, and the plans indicate a proposed lot coverage of approximately 47.96 percent, demonstrating compliance.

A perimeter fence is shown surrounding the proposed outdoor storage area. Prior to Final Site Plan approval, details regarding fence type, material, height, and opacity shall be provided and reviewed by the Township to confirm that the fence achieves the required screening from public view and adjacent

properties. Required screening may be provided by the fence alone or in combination with landscaping or other screening elements, provided the overall screening treatment complies with ordinance requirements and does not exceed twelve (12) feet in height. Based on the information provided, the proposed improvements are appropriate for the IF zoning district and satisfy the applicable zoning ordinance standards for Preliminary Site Plan Review.

Grading and Drainage

Existing drainage patterns shown on the plans indicate that runoff generally flows toward the on-site stormwater management facilities. The plans indicate minor grading along the west side of the proposed expansion that doesn't significantly change the runoff characteristics of the unpaved areas. Runoff from the proposed gravel outdoor storage area is directed to existing stormwater infrastructure and discharges to the existing on-site detention basin. No new off-site discharge points are proposed. The improved site will require 39,733 cubic feet of stormwater storage and 105,290 cubic feet are provided, sufficient for the project. Detailed grading and stormwater calculations have not been evaluated at this stage and shall be submitted and reviewed as part of the construction plans.

Sanitary Sewer & Watermain

Public water and sanitary sewer services are existing, and no modifications or extensions are proposed as part of this project. The proposed improvements do not increase building area or alter the principal use in a manner that would require additional water or sanitary capacity. Based on the information provided, the development is not anticipated to impact the existing water or sanitary sewer systems. Any future changes to water or sanitary service shall be subject to review and approval by the appropriate agencies during Final Site Plan review.

Parking and Landscaping

A landscape plan has been submitted with the Preliminary Site Plans. No additional parking is proposed on-site; however, the plans identify the existing total parking count and an analysis of what is required versus provided. Further review and comments related to parking and landscaping are deferred to the Township Planner.

Site Lighting

A photometric lighting plan is included with the submittal. The plan demonstrates that very minimal light spills beyond the west property line, with lighting levels diminishing rapidly at the parcel boundary. All site lighting is identified as existing, with 2 light poles on the west side of the proposed gravel storage area simply being relocated. Additional review and comment regarding site lighting are deferred to the Township Planner.

Recommendations

Should the Planning Commission decide to proceed with approval of this project, we recommend the following conditions be placed with approval:

1. Plans should be reviewed and approved by:
 - a. Fire Marshal
 - b. Township Planner
 - c. Livingston County Drain Commissioner

April 8, 2026
3 of 3

If you have any questions or need anything further, please feel free to contact our office.

Sincerely,



Philip A. Westmoreland, P.E.
Executive Vice President
Phone: (517) 375-9449
philaw@spicergroup.com

SPICER GROUP, INC.
30300 Telegraph Rd, Suite 100
Bingham Farms, MI 48025

CC: SGI File
Ken Recker, P.E., Livingston County Chief Deputy Drain Commissioner
Kim Hiller, Livingston County Road Commission
Paul Montagno, Carlisle Wortman
Gregory Petru, P.E., Kebs Inc.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: April 17, 2026
Revised: March 25, 2026

Site Plan Review For Howell Township, Michigan

Applicant:	Michigan Underground Specialists
Project Name:	Ditch Witch
Plan Date:	February 16, 2026
Updated:	March 25, 2026
Location:	3401 W. Grand River Ave. (Parcel #4706-28-200-040)
Zoning:	Industrial Flex Zone (IFZ)
Action Requested:	Preliminary Site Plan Approval

PROJECT AND SITE DESCRIPTION

The applicant has submitted a Preliminary Site Plan, with a revision date of March 25, 2026, for proposed improvements associated with an equipment storage facility and office. The applicant proposes adding an outdoor storage area and new parking on the west side of the site. Contractor buildings, structures and equipment and materials storage yards for building and other types of construction such that any area used for outdoor storage is completely enclosed and screened from external visibility beyond such storage area are permitted in the Industrial Flex Zone (IFZ) district subject to the standards in Section 14.46.

The site is approximately 7.6-acre. The site currently has a one-story brick and metal primary building, and a one-story metal accessory building near the southeast side of the site. Both

buildings are surrounded on the east, south, and west sides with storage areas enclosed with a metal fence.

The site is located south of West Grand River Avenue, and north of West Highland Road. The site is surrounded by industrial buildings. **Figure 1** provides an aerial image of the site.

Figure 1. Aerial Image of Subject Site and Vicinity



Source: Near Map, September 2025

Items to be Addressed: None.

NATURAL FEATURES

There are rows of trees along the east and south sides of the site. The applicant plans on preserving the trees. There are no water features on site. EGLE's Wetlands Map Viewer shows that there are no wetlands on site.

Items to be Addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

Table 2 summarizes the lot size, lot width building height, setback requirements, and lot coverage found in the schedule of regulations table in Section 3.17 in the Zoning Ordinance.

Table 2. Density, Placement, and Height Regulations

Standard	Required	Provided	Complies
Total Parcel Size	40,000 sq ft	7.60 acres	Yes
Lot Width	120 feet	540 feet	Yes
Building Height	70 feet	25 feet	Yes
Front Setback	50 feet	81 feet	Yes
Side Setback	10, minimum both side yard setbacks total of 25 feet.	87.3 feet east, and 202.42 feet west with a total of 289.72 feet	Yes
Rear Setback	10 feet	260.2 feet	Yes
Lot Coverage	75%	48%	Yes

The applicant meets the standards for area, width, height, and setbacks.

Items to be Addressed: None.

SITE ACCESS AND CIRCULATION

There are two (2) existing access points to the site on the east and west side of the building. There are no proposed changes to the access points. The applicant should provide evidence that the proposed expansion of the site does not require any right-of-way improvements by the Livingston County Road Commission (LCRC). The applicant submitted an application to the LCRC according to their February 17, 2026 letter.

We defer to Engineering and the Fire Chief for further consideration.

Items to be Addressed: Applicant shall provide approval from the LCRC.

PARKING, LOADING

Section 18.02 requires industrial uses to provide one (1) parking space for every employee working during the largest working shift, or one (1) space for every 550 square feet of total floor space, whichever is greater. A note on Sheet 3 states that there will be seventeen (17) employees during the largest working shift. The applicant has provided nineteen (19) parking spaces.

The existing parking spaces comply with the Zoning Ordinance.

Items to be Addressed: None.

LANDSCAPING

A Landscaping Plan has been provided on Sheet 6. Landscaping requirements are noted in **Table 3** are representative of the entire site.

Table 3. Landscaping Requirements

Landscaped Area	Requirement	Factor	Required	Provided
Front Yard along W Grand River	1 deciduous shade or evergreen tree per 40 lineal feet	$(540 / 40 = 13.5)$	14 trees	1 existing trees 4 trees proposed 5 total trees
	1 ornamental tree per 100 lineal feet	$(540 / 100 = 5.4)$	6 trees	2 trees
	8 shrubs per 40 ft.	$((540 / 40) * 8 = 108)$	108 shrubs	40 shrubs
Foundation Landscaping	1 ornamental tree per 35 lineal feet	$(60 / 35 = 1.7)$	2 trees	2 trees
	5 shrubs per 35 lineal feet	$((60 / 35) * 5 = 8.6)$	9 shrubs	9 shrubs

The applicant is proposing to plant four (4) deciduous and evergreen trees and two (2) ornamental trees along Grand River. The applicant needs to provide nine (9) more deciduous or evergreen trees, four (4) more ornamental trees, and sixty-eight (68) shrubs to meet the standards of Section 28.03.A.3. in the Zoning Ordinance. There are a few existing trees and shrubs on site that may be used towards the required front yard landscaping. To be counted these existing trees should be incorporated into the landscaping calculations.

The applicant requests to only landscape the proposed expansion area for the front yard landscaping along Grand River. This will consist of two hundred (200) feet according to Sheet 6.

The applicant is proposing a six (6) foot tall fence to surround the extended outdoor storage area that will match the existing fence, which is a chain link fence. According to Section 14.46 chain link fences with slats or mesh are not permitted screening methods for outdoor storage areas. Fences shall be constructed of redwood, cedar, or No. L pressure-treated wood.

Items to be Addressed:

- 1) *The applicant shall provide nine (9) more deciduous or evergreen trees, four (4) more ornamental trees, and sixty-eight (68) shrubs to meet the standards of Section 28.03.A.3.*
- 2) *The fence shall be constructed of redwood, cedar, or No. L pressure-treated wood.*

LIGHTING

The applicant proposes using three (3) existing light posts on site. The light poles are proposed to have four (4) lights facing each direction. One (1) of the lights already exists and will remain, and the additional three (3) lights will be 200-watt LED floodlights. The Photometric plan indicates that no lighting will trespass onto the neighboring property.

Items to be Addressed: None.

SIGNS

There is one (1) existing ground sign in between the east and west access points. No work is being proposed for the sign.

Items to be Addressed: None.

TRASH ENCLOSURE

The applicant did not provide any information on the trash enclosure, and the site plan indicates that no trash enclosure is being proposed. All refuse shall be stored indoors until it is removed from the site.

Items to be Addressed: None.

FLOOR PLAN & BUILDING ELEVATIONS

There are no changes proposed for the floor plans and elevations of the existing buildings.

Items to be Addressed: None.

RECOMMENDATIONS

The preliminary site plan does not comply with the requirements set forth in the Zoning Ordinance. The following item(s) should be addressed prior to the Planning Commission taking action on the preliminary site plan:

1. Applicant shall provide approval from the LCRC.
2. The applicant shall provide nine (9) more deciduous or evergreen trees, four (4) more ornamental trees, and sixty-eight (68) shrubs to meet the standards of Section 28.03.A.3.

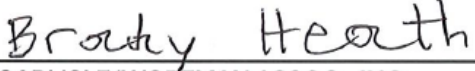
Ditch Witch - Preliminary Site Plan Review
April 17, 2026

3. The fence shall be constructed of redwood, cedar, or No. L pressure-treated wood.

Please contact us with any questions or concerns.



CARLISLE/WORTMAN ASSOC., INC.
Paul Montagno, AICP
Principal



CARLISLE/WORTMAN ASSOC., INC.
Brady Heath
Community Planner

#PC-2025-23

cc: Jonathan Hohenstein, Township Zoning Administrator

HOWELL TOWNSHIP
Application for Site Plan Review

3525 Byron Road Howell, MI 48855

Phone: 517-546-2817 ext. 108

Email: inspector@howelltownshipmi.org

Date 2/16/20

File # PC2026-03

Applicant Name Ron Bergman

Parcel ID # 4706-20-100-023

Location of Property <u>4590 W Grand River</u>	Current Zoning Classification <u>NSC</u>
Existing Use <u>Vacant</u>	Proposed Use _____

Check One:

Preliminary Site Plan Review (20.06)

Final Site Plan Review (20.07)

Temporary Use (14.25)

Commercial/Industrial Development

Subdivision/Site Plan Condo

Multi-Family/Condo

Planned Unit Development (PUD) Type: 1 2 3 4 5

Site Plan

RMB COMMERCIAL, LLC

PART OF THE NORTHWEST 1/4, SECTION 20, T3N-R4E
HOWELL TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

SITE DATA TABLE:
 ZONED NSC – NEIGHBORHOOD SERVICE COMMERCIAL DISTRICT
 AREA REQUIRED = 1.0 ACRES
 AREA PROVIDED = 1.55 ACRES
 LOT WIDTH REQUIRED = 150 FEET
 LOT WIDTH PROVIDED = 150 FEET
 FRONT SETBACK REQUIRED = 35 FEET
 FRONT SETBACK PROVIDED = 174 FEET
 SIDE SETBACK REQUIRED = 10 FEET MIN / 25 FEET TOTAL
 SIDE SETBACK PROVIDED = 13.5 FEET MIN / 102 FEET TOTAL
 REAR SETBACK REQUIRED = 50 FEET
 REAR SETBACK PROVIDED = 126 FEET
 PARKING SPACES REQUIRED = 4800 SF/550 SF = 8.7 (USE 9)
 PARKING SPACES PROVIDED = 9

LEGAL DESCRIPTION:

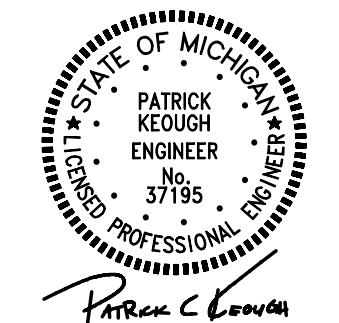
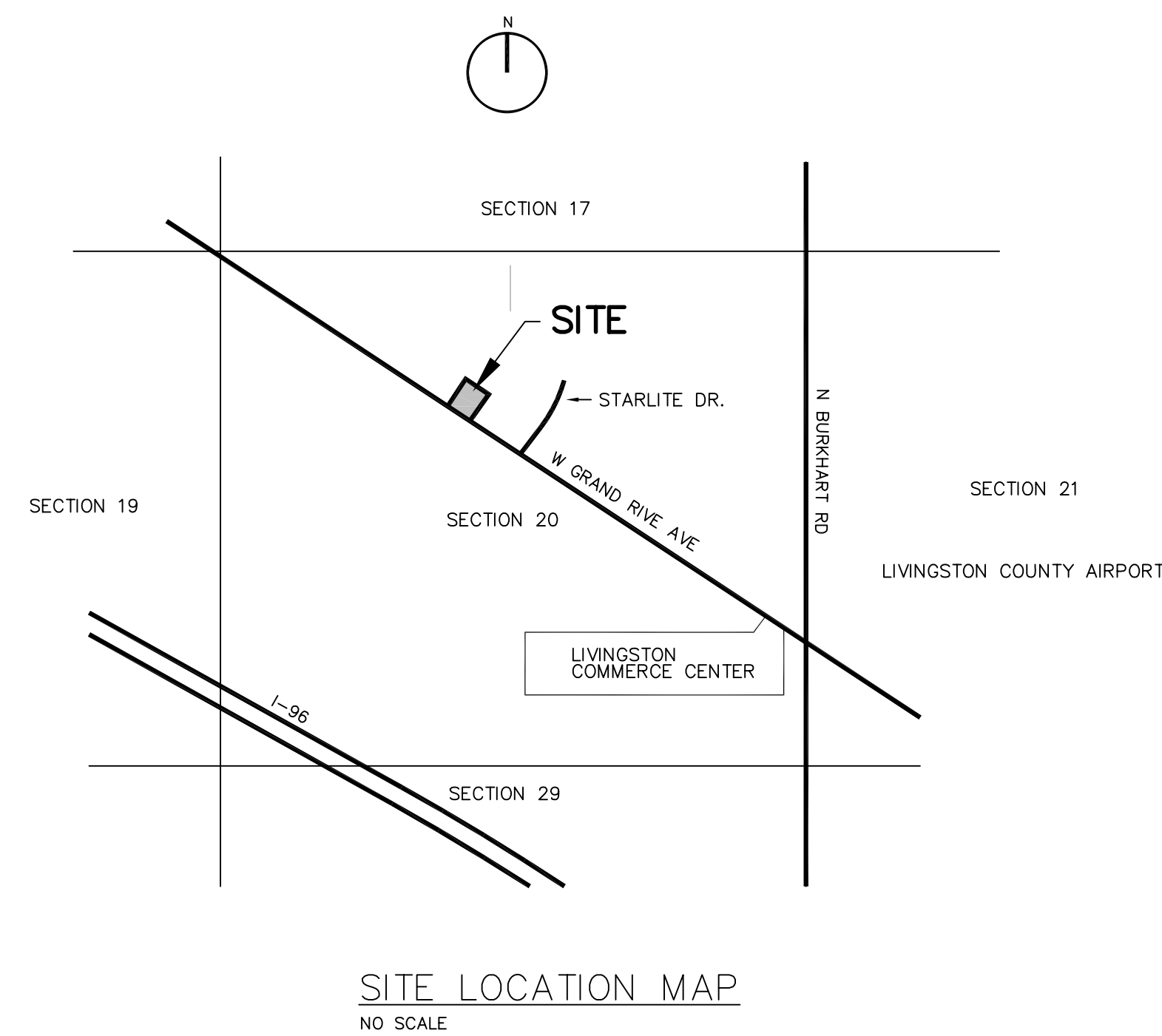
A part of the Northwest 1/4 of Section 20, Town 3 North, Range 4 East, Howell Township, Livingston County, Michigan, more particularly described as follows: Commencing at the North 1/4 corner of said Section 20; thence along the North-South 1/4 line of said Section 20 as monumented, South 00° 17' 46" West, 1324.29 feet to a concrete monument; thence continuing along the North-South 1/4 line, as monumented and the West line of Newmans Grand View Estates, a subdivision as recorded in Plat Liber 8, page 24, Livingston County Records, South 00° 03' 00" East, 796.65 feet; thence along the centerline of Grand River Avenue (100 foot right of way), North 51° 30' 40" West, 192.50 feet; thence continuing along the centerline of Grand River Avenue North 51° 10' 00" West, 367.31 feet to the POINT OF BEGINNING of the parcel to be described; thence continuing along the centerline of Grand River Avenue, North 51° 10' 00" West, 150.00 feet; thence North 38° 50' 00" East, 450.00 feet; thence South 51° 10' 00" East, 150.00 feet; thence South 38° 50' 00" West, 450.00 feet to the POINT OF BEGINNING.

DRAWING INDEX

NO.	TITLE
1.	COVER SHEET
2.	EXISTING CONDITIONS PLAN
3.	SITE PLAN
4.	GRADING PLAN
5.	DRAINAGE AREA AND CALCULATIONS
6.	SOIL EROSION CONTROL
7.	LANDSCAPE PLAN
8.	TRAFFIC CIRCULATION PLAN
9.	PHOTOMETRIC LIGHTING PLAN

LEGEND

	DRAINAGE FLOW
	LIGHT POLE
	SIGN
	UTILITY POLE
	CATCH BASIN
	MANHOLE
	GATE VALVE IN WELL
	HYDRANT
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	MAJOR CONTOUR – 5 FT. INTERVAL
	MINOR CONTOUR – 1 FT. INTERVAL
	FENCE LINE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER (GRAVITY)
	EXISTING WATER MAIN
	GAS MAIN
	TELEPHONE LINE
	UNDERGROUND TELEPHONE LINE
	ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD ELECTRIC LINE
	DECIDUOUS TREE
	CONIFEROUS TREE
	TREE & BRUSH LINE



REVISIONS:
02-31-28 REVISED PER CONSULTANT COMMENTS

OWNER/DEVELOPER:
 RON BERGMAN
 RMB COMMERCIAL, LLC
 5454 BYRON ROAD
 HOWELL, MI. 48843
 ronb@precisioncommercialvac.com
 517-861-5200

RMB COMMERCIAL, LLC
 4590 W. GRAND RIVER AVENUE
 HOWELL, MI. 48843
COVER SHEET

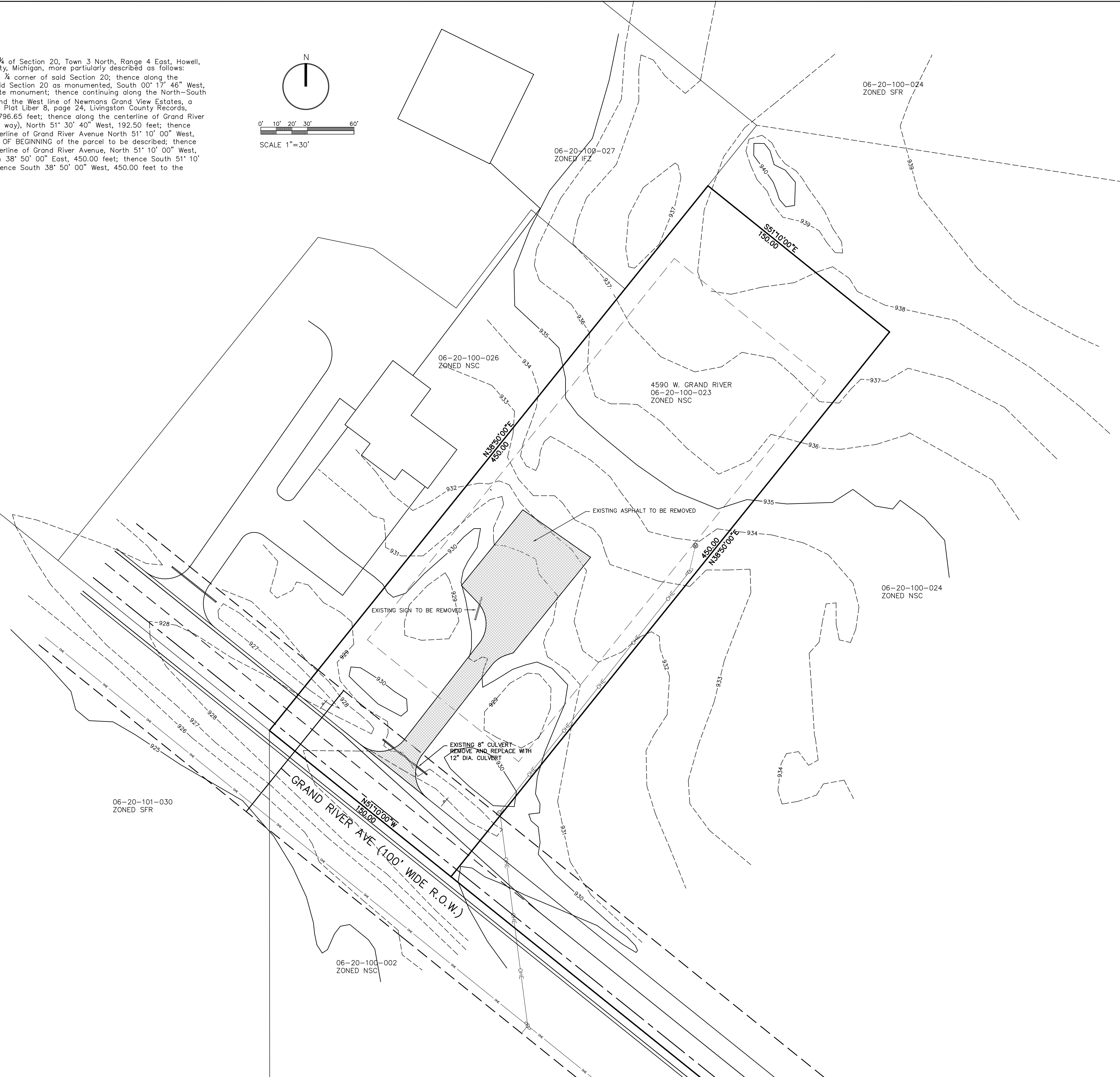
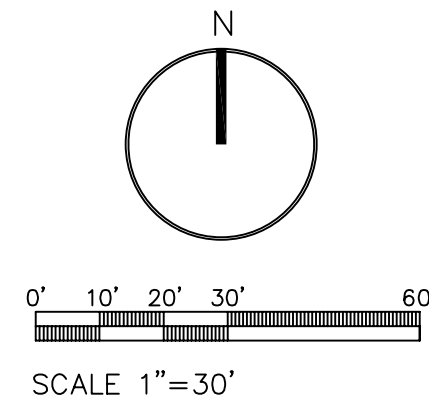
ACE CIVIL ENGINEERING
 5655 Livestock, Fowlerville, MI. 48838 517 345-4141 • acecivil@gmail.com

DATE: 11-25-25
 DRAWN BY: PCK
 CHECKED BY: PCK
 JOB No.: 25006

DRAWING No.: 1

LEGAL DESCRIPTION:

A part of the Northwest ¼ of Section 20, Town 3 North, Range 4 East, Howell Township, Livingston County, Michigan, more particularly described as follows: Commencing at the North ¼ corner of said Section 20; thence along the North-South ¼ line of said Section 20 as monumented; South 00° 17' 46" West, 1324.29 feet to a concrete monument; thence continuing along the North-South ¼ line, as monumented and the West line of Newmans Grand View Estates, a subdivision as recorded in Plat Liber 8, page 24, Livingston County Records, South 00° 03' 00" East, 796.65 feet; thence along the centerline of Grand River Avenue (100 foot right of way), North 51° 30' 40" West, 192.50 feet; thence continuing along the centerline of Grand River Avenue North 51° 10' 00" West, 367.31 feet to the POINT OF BEGINNING of the parcel to be described; thence continuing along the centerline of Grand River Avenue, North 51° 10' 00" West, 150.00 feet; thence North 38° 50' 00" East, 450.00 feet; thence South 51° 10' 00" East, 150.00 feet; thence South 38° 50' 00" West, 450.00 feet to the POINT OF BEGINNING.



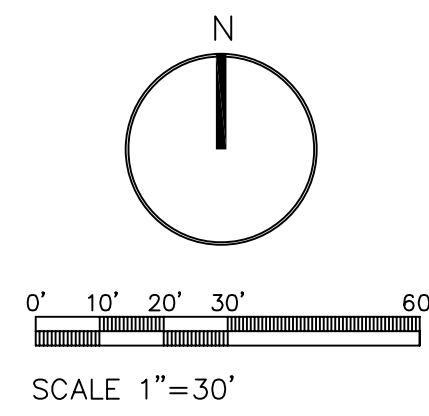
LEGEND

- DRAINAGE FLOW
- LIGHT POLE
- SIGN
- UTILITY POLE
- CATCH BASIN
- MANHOLE
- GATE VALVE IN WELL
- HYDRANT
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- MAJOR CONTOUR - 5 FT. INTERVAL
- MINOR CONTOUR - 1 FT. INTERVAL
- FENCE LINE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER (GRAVITY)
- EXISTING WATER MAIN
- GAS MAIN
- TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD ELECTRIC LINE
- DECIDUOUS TREE
- CONIFEROUS TREE
- TREE & BRUSH LINE

<p>OWNER/ENGINEER OFFICE: RMB COMMERCIAL, LLC 4590 W. GRAND RIVER AVENUE HOWELL, MI. 48843</p>	<p>REVISIONS: 03-31-28 REVISED PER CONSULTANT COMMENTS</p>
<p>EXISTING CONSIONTS PLAN</p>	
<p>ACE CIVIL ENGINEERING 5055 Livestock, Farmville, MI. 48834 517-245-4141 • acecivil@gmail.com</p>	
<p>DATE: 11-25-25 DRAWN BY: PCK CHECKED BY: PCK JOB No.: 25006 DRAWING No. 2</p>	

LEGAL DESCRIPTION:

A part of the Northwest 1/4 of Section 20, Town 3 North, Range 4 East, Howell Township, Livingston County, Michigan, more particularly described as follows: Commencing at the North 1/4 corner of said Section 20; thence along the North-South 1/4 line of said Section 20 as monumented; South 00° 17' 46" West, 1324.29 feet to a concrete monument; thence continuing along the North-South 1/4 line, as monumented and the West line of Newmans Grand View Estates, a subdivision as recorded in Plat Liber 8, page 24, Livingston County Records, South 00° 03' 00" East, 796.65 feet; thence along the centerline of Grand River Avenue (100 foot right of way), North 51° 30' 40" West, 192.50 feet; thence continuing along the centerline of Grand River Avenue North 51° 10' 00" West, 367.31 feet to the POINT OF BEGINNING of the parcel to be described; thence continuing along the centerline of Grand River Avenue, North 51° 10' 00" West, 150.00 feet; thence North 38° 50' 00" East, 450.00 feet; thence South 51° 10' 00" East, 150.00 feet; thence South 38° 50' 00" West, 450.00 feet to the POINT OF BEGINNING.



ZONED NSC - NEIGHBORHOOD SERVICE COMMERCIAL DISTRICT
 AREA REQUIRED = 1.0 ACRES
 AREA PROVIDED = 1.55 ACRES

LOT WIDTH REQUIRED = 150 FEET
 LOT WIDTH PROVIDED = 150 FEET

FRONT SETBACK REQUIRED = 35 FEET
 FRONT SETBACK PROVIDED = 174 FEET

SIDE SETBACK REQUIRED = 10 FEET MIN / 25 FEET TOTAL
 SIDE SETBACK PROVIDED = 13.5 FEET MIN / 102 FEET TOTAL

REAR SETBACK REQUIRED = 50 FEET
 REAR SETBACK PROVIDED = 126 FEET

PARKING SPACES REQUIRED = 4800 SF / 550 SF = 8.7 (USE 9)
 PARKING SPACES PROVIDED = 9

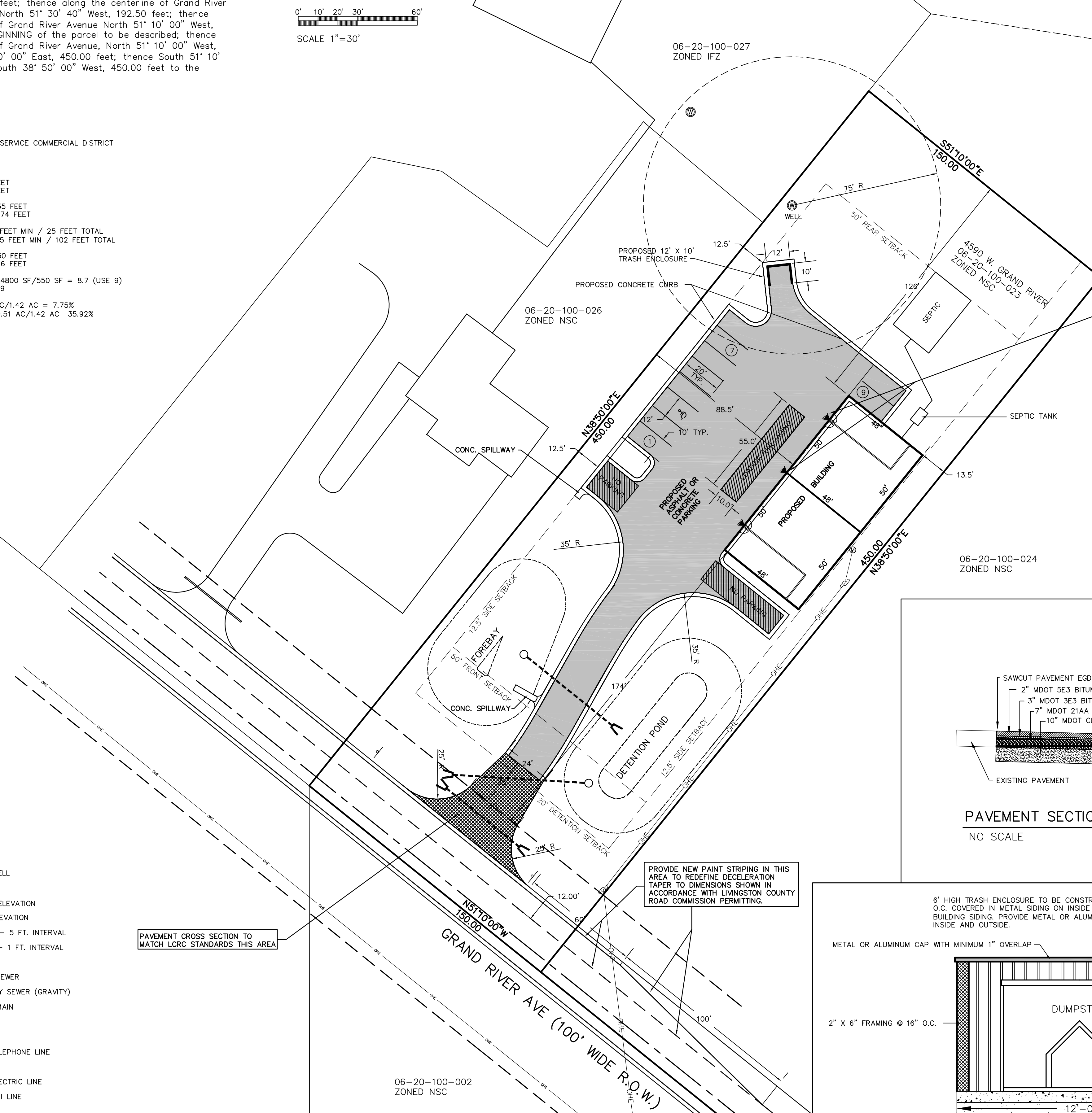
BUILDING COVERAGE = 0.11 AC / 1.42 AC = 7.75%
 HARD SURFACE COVERAGE = 0.51 AC / 1.42 AC = 35.92%

LEGEND

- DRAINAGE FLOW
- LIGHT POLE
- SIGN
- UTILITY POLE
- CATCH BASIN
- MANHOLE
- GATE VALVE IN WELL
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- PROPOSED SPOT ELEVATION
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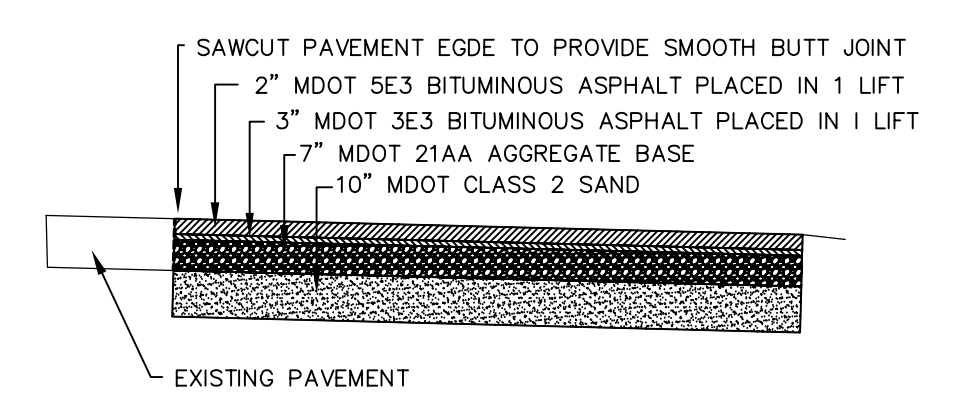
- DECIDUOUS TREE
- CONIFEROUS TREE
- TREE & BRUSH LINE

PAVEMENT CROSS SECTION TO MATCH LCRG STANDARDS THIS AREA

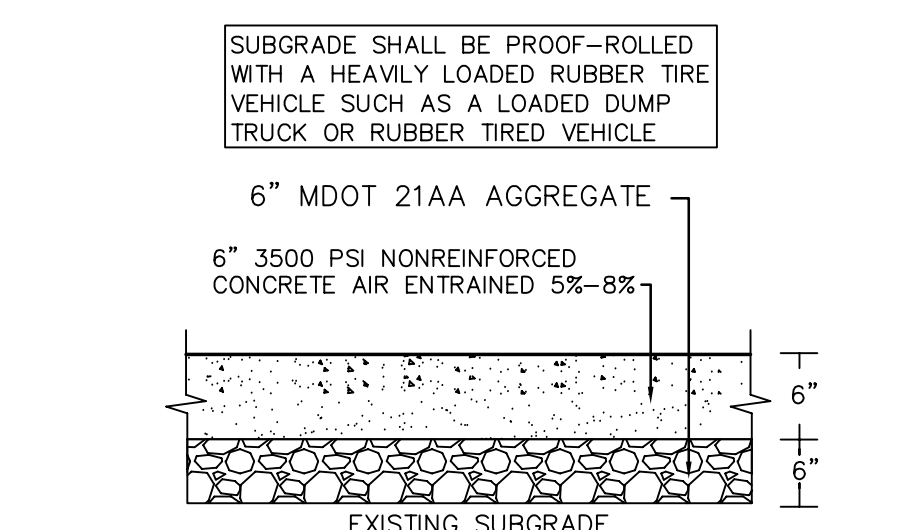


PROPOSED WALLPACK LIGHT FIXTURES (3 TOTAL) MOUNTED AT 12 FOOT HEIGHT WITH DOWNWARD LIGHT SHIELDS. LEDVANCE LUMINAIRE'S MODEL WALPKN6AS080UNV12 OR APPROVED EQUAL.

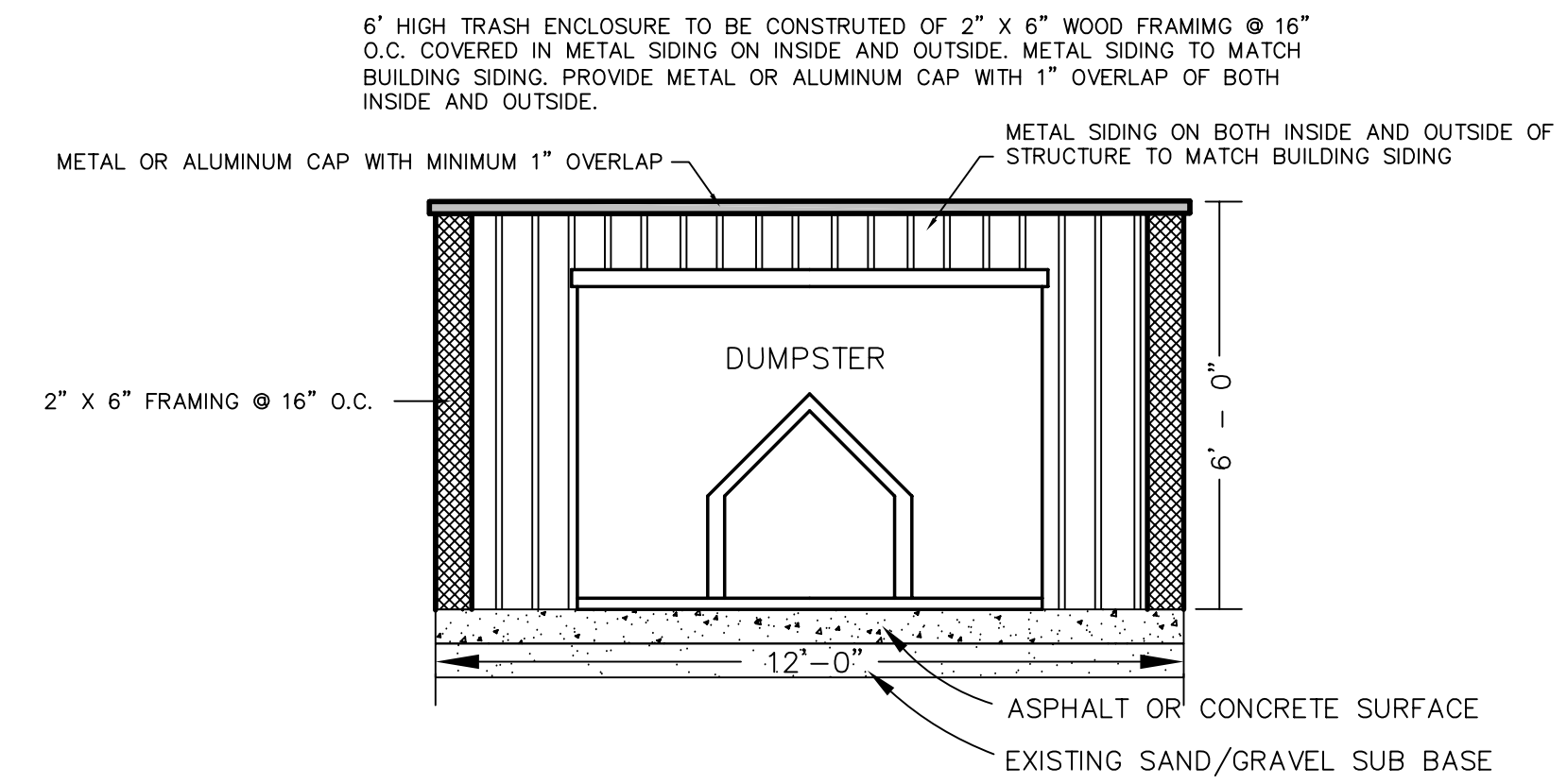
PROVIDE NEW PAINT STRIPING IN THIS AREA TO REDEFINE DECELERATION TAPER TO DIMENSIONS SHOWN IN ACCORDANCE WITH LIVINGSTON COUNTY ROAD COMMISSION PERMITTING.



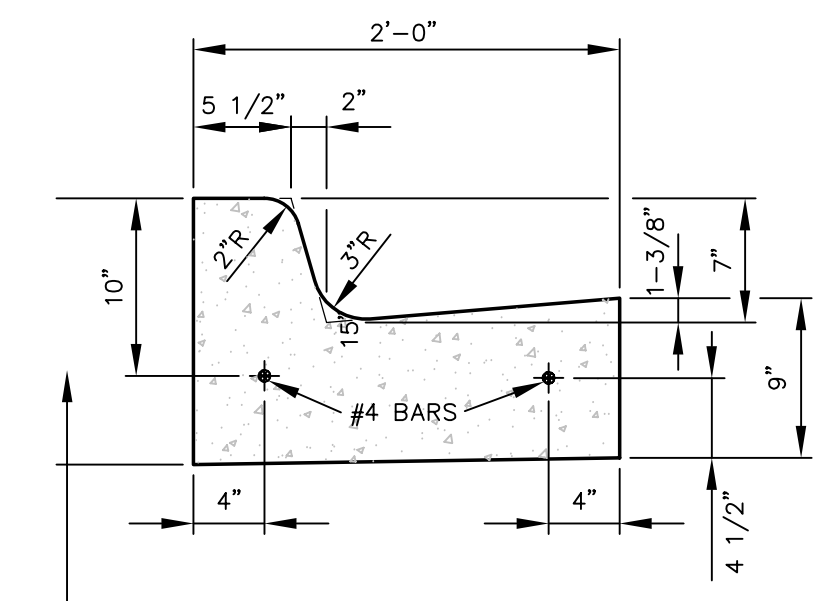
PAVEMENT SECTION WITHIN GRAND RIVER R.O.W.
NO SCALE



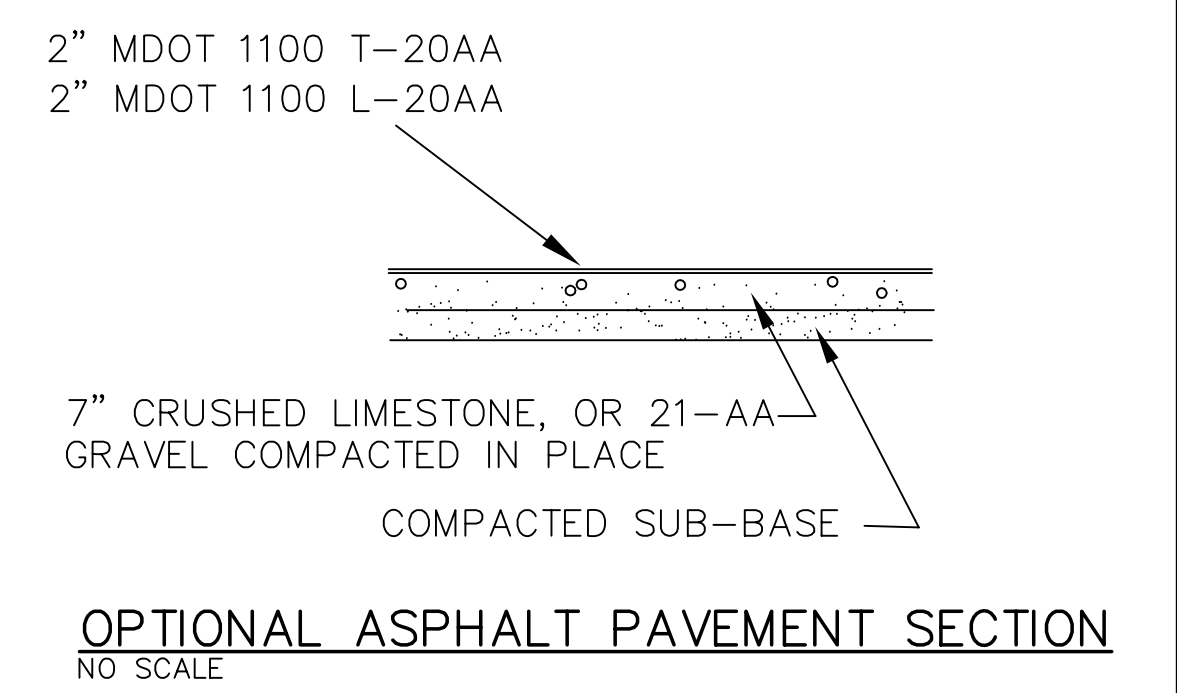
TYPICAL CONCRETE PAVEMENT SECTION
NO SCALE



DUMPSTER SCREENING DETAIL
NO SCALE



MDOT C-4 CURB DETAIL
NO SCALE



OPTIONAL ASPHALT PAVEMENT SECTION
NO SCALE

REVISIONS:

3/20/28	ADDED VEHICLE CIRCULATION PATHS
3/23/28	REVISED PER AGENCY COMMENTS

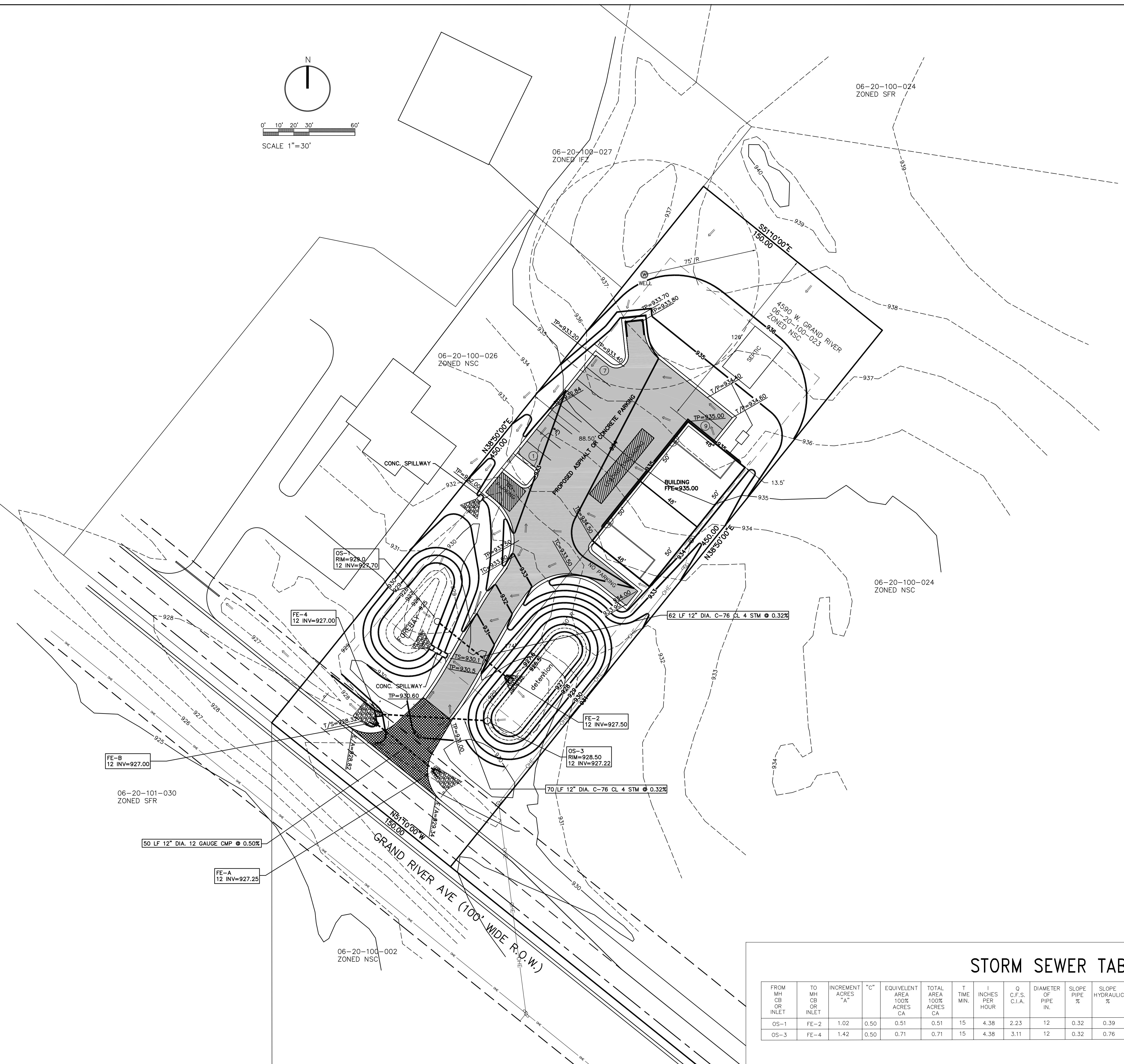
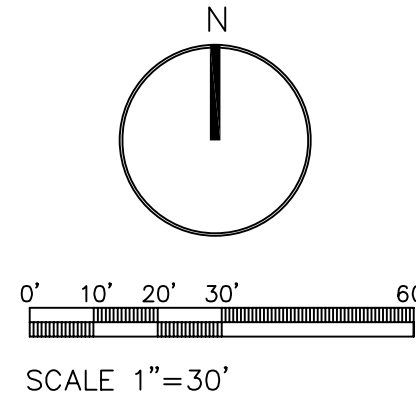
OWNER/ENGINEER OFFICE:
 RON BERGMAN
 RMB COMMERCIAL, LLC
 5454 BYRON ROAD
 HOWELL, MI. 48843
 ronb@precisioncommercialvac.com
 517-861-5200

RMB COMMERCIAL, LLC
 4590 W. GRAND RIVER AVENUE
 HOWELL, MI. 48843
SITE PLAN

ACE CIVIL ENGINEERING
 5055 Livestock, Farmville, MI. 48858 517-245-4141 • acecivil@gmail.com

DATE: 11-25-25
 DRAWN BY: PCK
 CHECKED BY: PCK
 JOB No.: 25006

DRAWING No.



DETENTION POND CALCULATIONS:
 A = 1.42 ACRES
 C = 0.50
 BISECTING SIDEWALKS AND PAVING = 0.47 ACRES X 0.9 = 0.423
 MODERATELY PERVIOUS SOIL WITH TURF = 0.95 ACRES X 0.2375 = 0.226
 C = 0.423 + 0.423 = 0.846 (USE 0.9)
 $Q_{in} = (A) \times 0.2 \text{ cfs/acre} = 1.42 \times 0.2 = 0.284 \text{ cfs}$
 $V_{in} = 1.57(1.42)(0.50)(C) = (1.57)(1.42)(0.50)(0.50) = 2.577 \text{ of}$
 $V_{out} = 1.57(1.42)(0.50)(C) = (1.57)(1.42)(0.50)(0.50) = 2.577 \text{ of}$
 $V_{det} = V_{in} - V_{out} = 2.577 - 2.577 = 0 \text{ of}$
 $Q_{det} = (C)(A)(0.3018)(T) + (1.47)(0.0068) = 0.208 + 0.0099 = 0.2179 \text{ cfs}$
 $(2.577 - 0.2179) / (0.3018) = 7.84 \text{ min}$
 $R = 0.208 - (0.15)(0.3018) = 0.154$
 $V_{100det} = (R)(C)(A) = (0.154)(0.50)(1.42) = 0.109 \text{ of}$
 $V_{100det} = (V_{100det})(R) - V_{out} = (0.109)(0.50) - 0.284 = -0.175 \text{ of}$
 INFILTRATION AREA REQUIRED FOR CONVEY LOAMY TYPE C SOILS = $3350 / (0.95 + 0.250) + 0.95 = 1914 \text{ SF}$
 INFILTRATION AREA PROVIDED AT EL=927.5 = 2243 SF

STORAGE VOLUME PROVIDED:

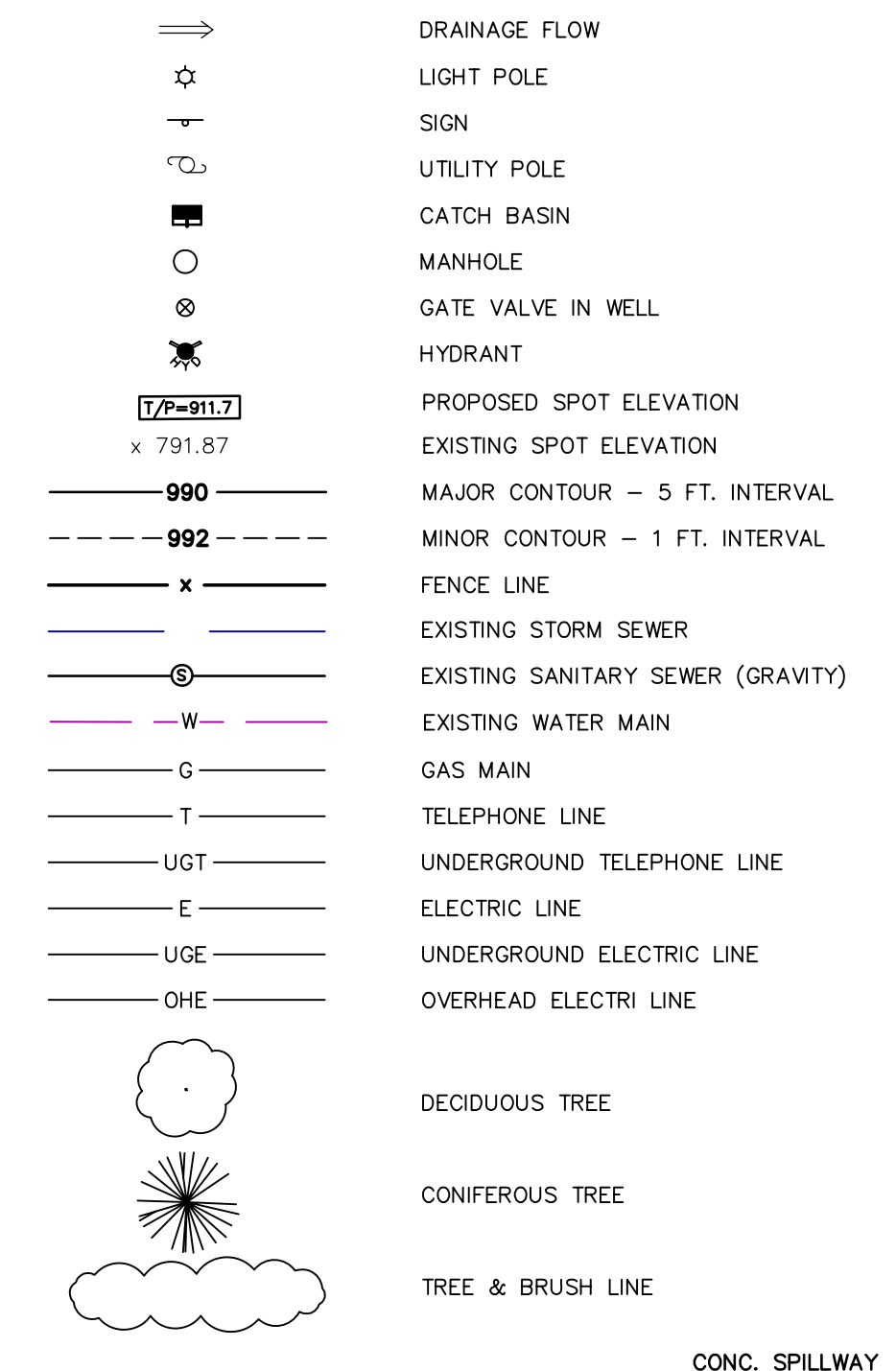
FOREBAY:	ELEVATION	SURFACE AREA VOLUME	TOTAL VOLUME
	928.0	1953	2411
	929.0	2889	2411
DETENTION:	ELEVATION	SURFACE AREA VOLUME	TOTAL VOLUME
	927.5	2243	2793
	928.5	3343	5204

ORIFICE CALCULATIONS:
 FOREBAY AND EXTENDED DETENTION
 $V_{det} = 4897 \text{ of}$
 $V_{det} = Q \times T = 0.0283 \text{ cfs}$
FOREBAY
 $A = 0 / (C(SORT(20H))) = 0.0057$
 C = 0.62
 A = 0.0057 S.F.
 G = 32.2
 H = 929.0 - 928.0 = 1.0 feet
 USE (1) ONE - 1" DIA HOLES W/ $q = 0.00545 \text{ SF}$
 1 HOLE REQUIRED @ ELEVATION = 928.0
 (ACTUAL RATE OF FLOW WITH 1 - 1" DIA. HOLE
 AT $h = 0.9'$ $Q = 0.0271 \text{ CFS}$)

DETENTION
 $A = 0 / (C(SORT(20H))) = 0.00574$
 C = 0.62
 A = 0.0057 S.F.
 G = 32.2
 H = 930 FEET (4897 OF REG-2411 OF (FOREBAY) = 2486 OF W DETENTION)
 2486 OF PROVIDED IN DETENTION BETWEEN EL 927.5 AND 928.40
 USE (1) ONE - 1" DIA HOLES W/ $q = 0.00545 \text{ SF}$
 1 HOLE REQUIRED @ ELEVATION = 927.5
 (ACTUAL RATE OF FLOW WITH 1 - 1" DIA. HOLE
 AT $h = 0.9'$ $Q = 0.0257 \text{ CFS}$)

100 YEAR
 $Q_{100} = 1.42 \text{ ACRES} \times 0.2 \text{ CFS/ACRE} = 0.284 \text{ CFS}$
 FLOW FROM FOREBAY/EXTENDED DETENTION HOLES
 $Q_{det} = 0.284 - 0.0271 \text{ CFS} = 0.2569 \text{ CFS}$
 $A = 0 / (C(SORT(20H))) = 0.1633 \text{ SF}$
 C = 0.62
 G = 32.2
 H = (928.5 - 928.40) = 0.10
 USING 2" DIA. HOLE WITH $A = 0.0218$
 7 HOLES REQUIRED AT ELEVATION = 928.40

LEGEND



STORM SEWER TABLE

FROM MH OR INLET	TO MH OR INLET	INCREMENT "A"	"C"	EQUIVALENT AREA 100% ACRES CA	TOTAL AREA 100% ACRES CA	T TIME MIN.	I INCHES PER HOUR	Q C.F.S. C.L.A.	DIAMETER OF PIPE IN.	SLOPE PIPE %	SLOPE HYDRAULIC %	LENGTH OF LINE FT.	VELOCITY FLOW 10'/HR FT/SEC	TIME OF FLOW MIN.	PIPE CAPACITY C.F.S.	H.G. ELEV UPPER END	UPPER INVERT ELEVATION	LOWER INVERT ELEVATION	UPPER RIM ELEVATION
OS-1	FE-2	1.02	0.50	0.51	0.51	15	4.38	2.23	12	0.32	0.39	62	2.8	0.37	2.23	928.74	927.70	927.50	929.0
OS-3	FE-4	1.42	0.50	0.71	0.71	15	4.38	3.11	12	0.32	0.76	70	4.0	0.29	3.11	928.53	927.22	927.00	929.0

REVISIONS:
 02-31-28 REVISED PER AGENCY COMMENTS

OWNER/ENGINEER/DATE:
 RON BERGMAN
 RMB COMMERCIAL, LLC
 5454 BYRON ROAD
 HOWELL, MI. 48843
 ronb@precisioncommercialvac.com
 517-861-5200

DATE:
 11-25-25

DRAWN BY:
 PCK

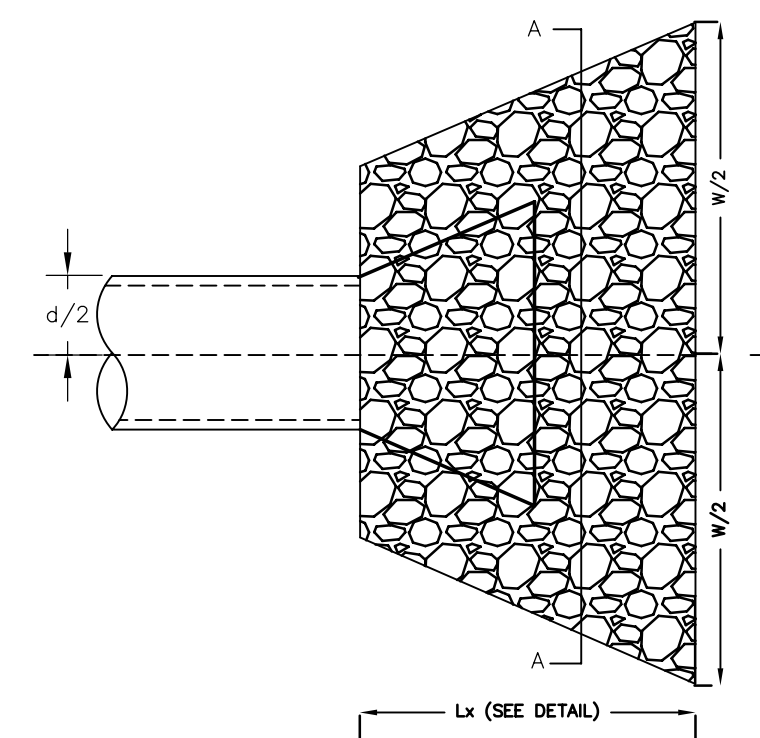
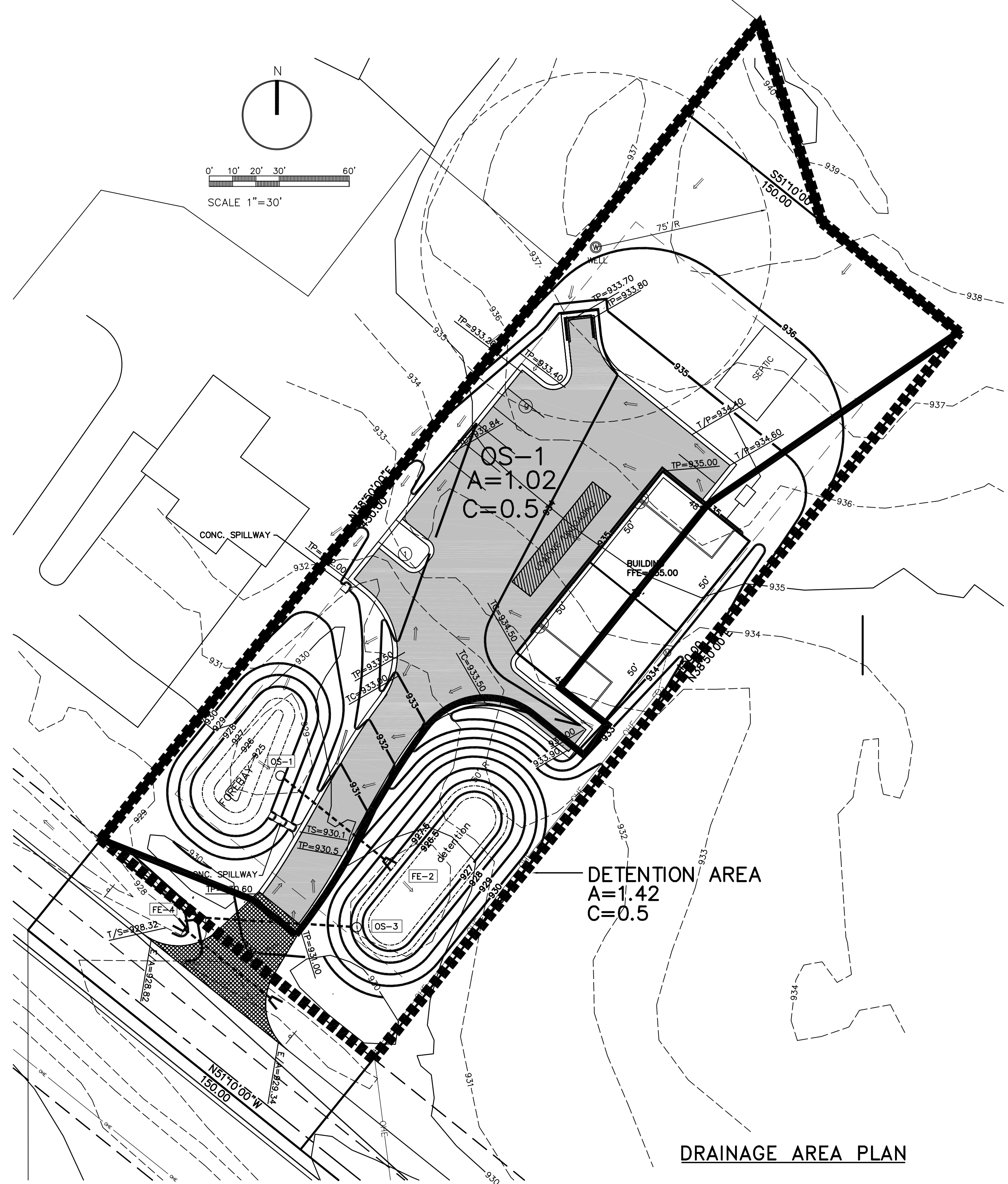
CHECKED BY:
 PCK

JOB No.
 25006

DRAWING No.
 4

ACE CIVIL ENGINEERING
 5055 Livestock, Fowlerville, MI. 48858 517-445-4141 - acecivil@gmail.com

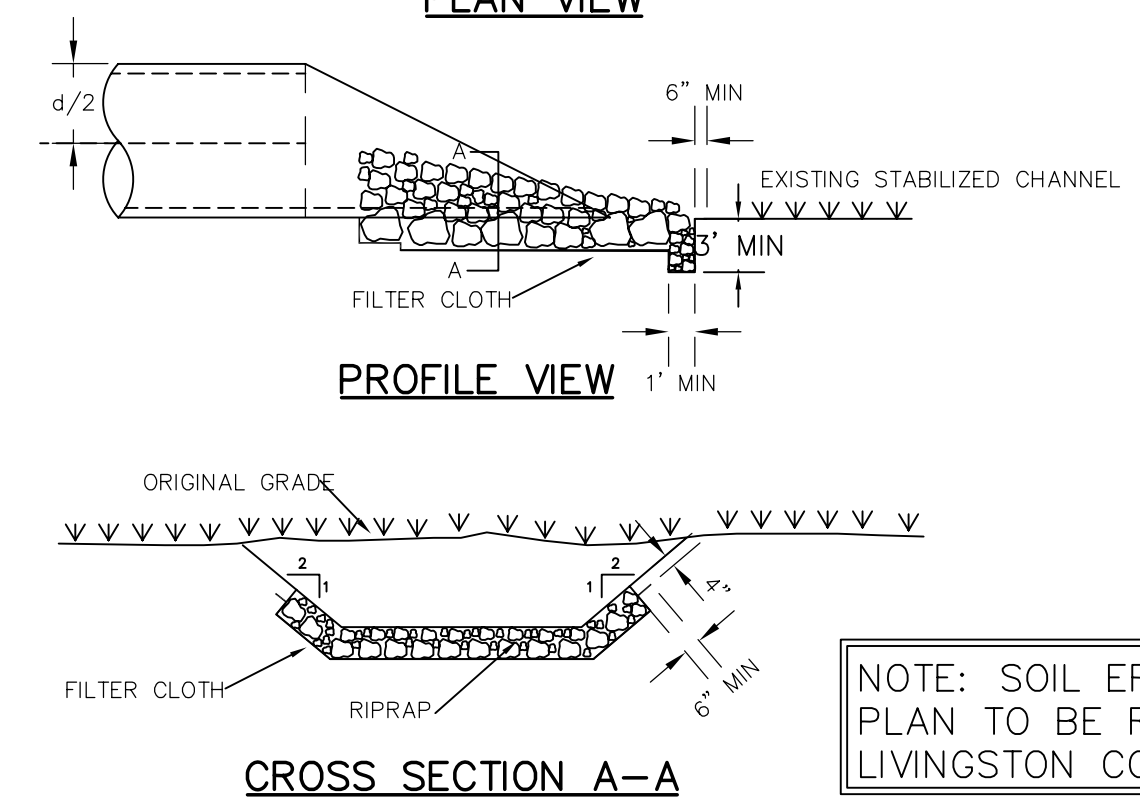
RMB COMMERCIAL, LLC
 4590 W. GRAND RIVER AVENUE
 HOWELL, MI. 48843
 GRADING PLAN



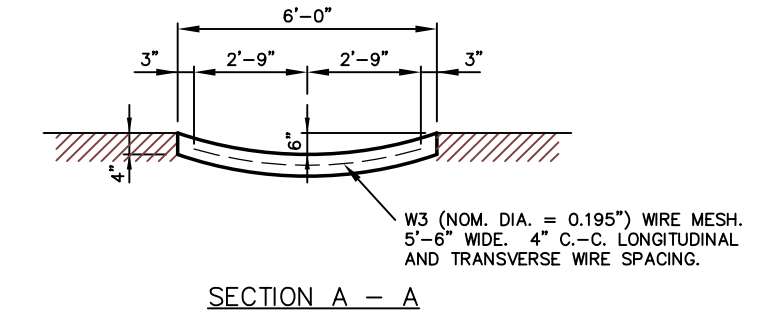
- RIP-RAP CONSTRUCTION NOTES:**
- The subgrade for the filter or riprap shall be prepared to the required lines and grades as shown on the plan. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
 - The riprap shall conform to the grading limits as shown on the plan.
 - Filter cloth shall be protected from punching, cutting, or tearing. Any damage to the filter shall be immediately repaired or replaced.
 - Stone for the riprap may be placed by equipment. Riprap shall be placed so as to prevent damage to the filter cloth. Hand placement may be necessary to prevent damage to conduits, or structures.

DIA (in)	Q cfs	Lx (ft)	W (ft)	RIPRAP SIZE (in)
12"	10	30	31.00	4 to 8
15"	10	30	31.25	4 to 8
18"	10	30	31.5	4 to 8
21"	10	30	31.75	4 to 8
24"	10	30	32.00	4 to 8
27"	10	30	32.25	4 to 8
30"	10	30	32.50	4 to 8
36"	10	30	33.00	4 to 8
42"	10	30	33.50	4 to 8
48"	10	30	34.00	4 to 8

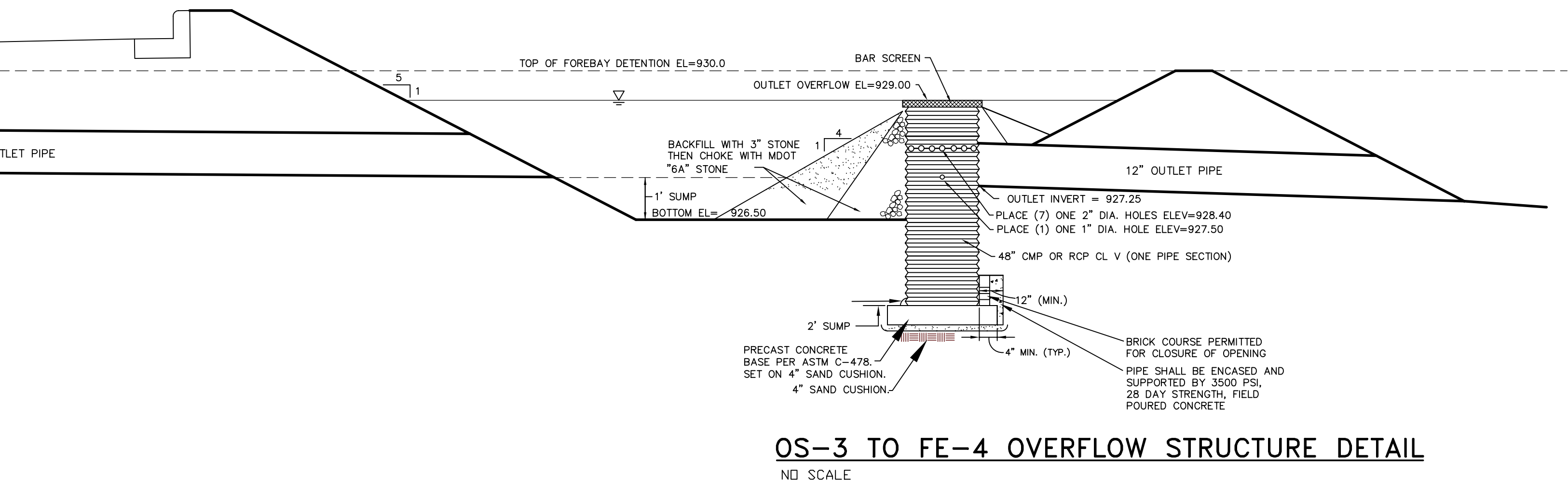
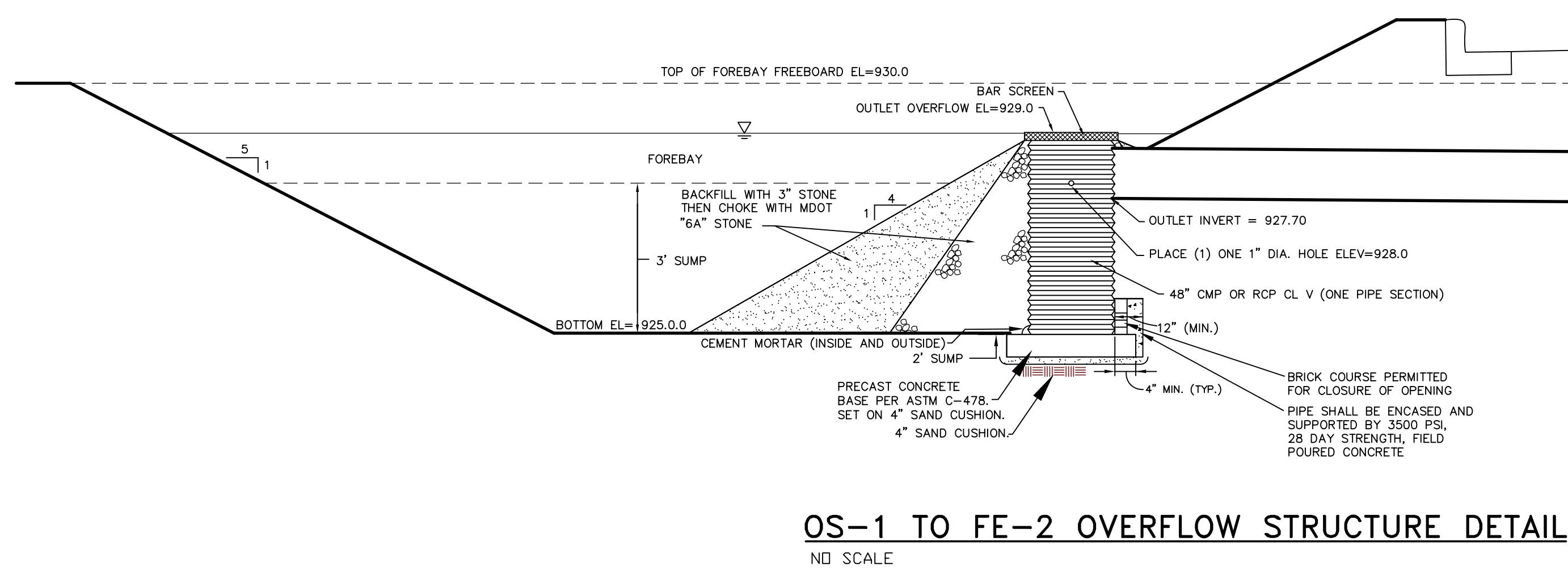
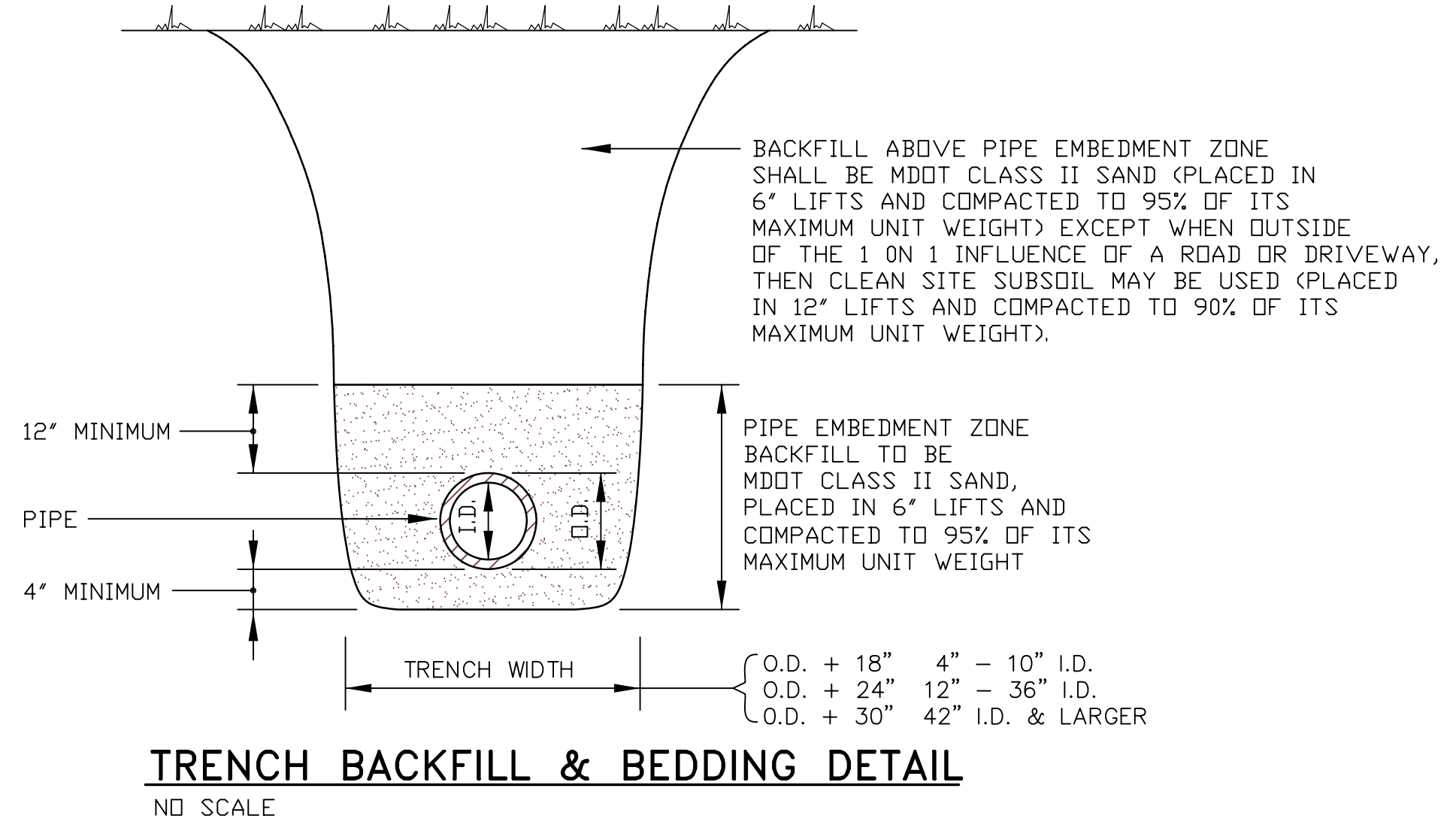
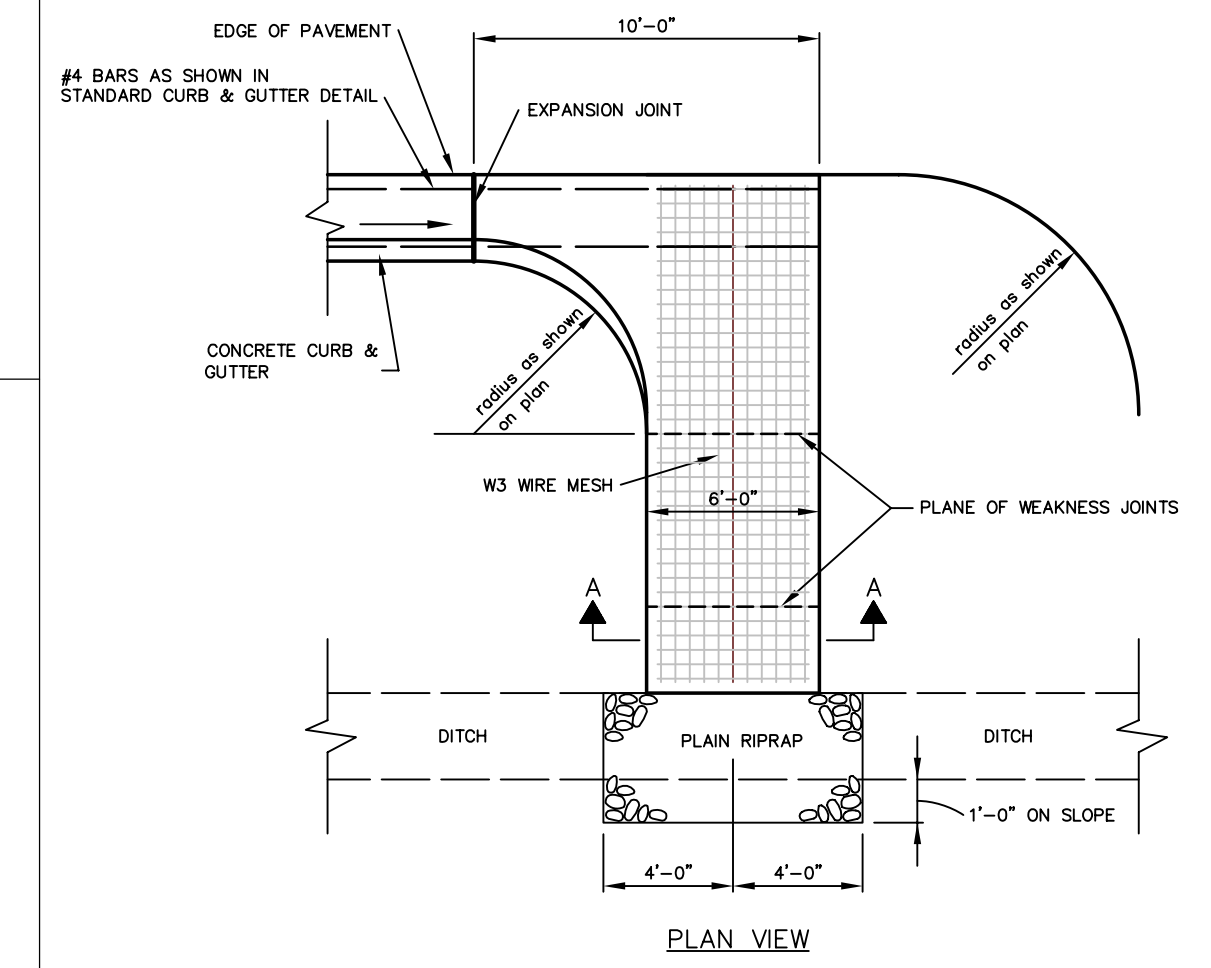
Note: All riprap dimensions are based on pipes flowing full at max velocity = 10cfs. All riprap rock size shall be 4" to 8".



NOTE: SOIL EROSION CONTROL AND SEDIMENTATION PLAN TO BE REVIEWED AND PERMITTED BY THE LIVINGSTON COUNTY DRAIN COMMISSIONER.



- NOTES**
- CONCRETE SHALL BE CLASS A CONCRETE (4000 PSI, 28 DAY STRENGTH (MIN.)) PER GENOA TOWNSHIP STANDARDS.
 - MAKE GRADUAL TRANSITION FROM CURB & GUTTER TO SPILLWAY.
 - PLANE OF WEAKNESS JOINTS, NOT LESS THAN 1/8" NOR MORE THAN 1/4" IN WIDTH, SHALL BE CUT IN THE PLASTIC CONCRETE, AFTER FLOATING, TO A DEPTH OF NOT LESS THAN 1 1/2". SPACING SHALL BE AT UNIFORM INTERVALS OF APPROXIMATELY 4'.
 - THE SPILLWAY ON SHOULDERS AND FORESLOPES SHALL BE UNDERLAIN WITH GEOTEXTILE BLANKET FROM THE BACK SIDE OF THE CURB & GUTTER TO THE FAR END OF THE PLAIN RIPRAP.
 - THE SPILLWAY SHALL RECEIVE A TRANSVERSE COARSE BROOM FINISH.



REVISIONS:
 02-31-28 REVISED PER AGENCY COMMENTS

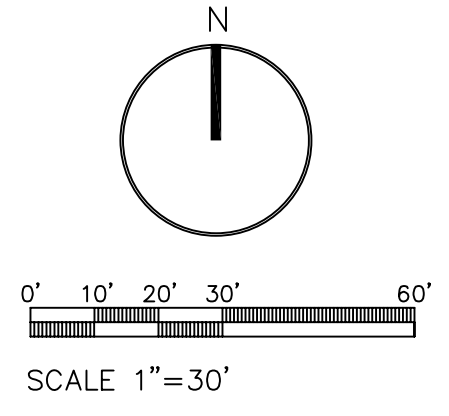
OWNER/ENGINEER OFFICE:
 RON BERGMAN
 RMB COMMERCIAL, LLC
 5454 BYRON ROAD
 HOWELL, MI. 48843
 ronb@precisioncontracting.com
 517-861-5200

RMB COMMERCIAL, LLC
 4590 W. GRAND RIVER AVENUE
 HOWELL, MI. 48843

DRAINAGE AREAS AND DETAILS

ACE CIVIL ENGINEERING
 5055 Livestock, Fowlerville, MI. 48836 517 245-4141 • acecivil@gmail.com

DATE: 11-25-25
 DRAWN BY: PCK
 CHECKED BY: PCK
 JOB No.: 25006
 DRAWING No.: 5



CONSTRUCTION SEQUENCE 2026

	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	JAN	FEB	MAR
Install silt fence												
Cut drives												
Install stone diaper@temp entrance												
Strip topsoil												
Install detention and storm sewer												
Construct buildings												
Construct utilities												
Place curb & gutter												
Place pavement												
Finish grading												
Landscaping and seeding												

Note: Topsoil storage area shall be seeded and mulched, or matted with straw, immediately after stripping process is completed.

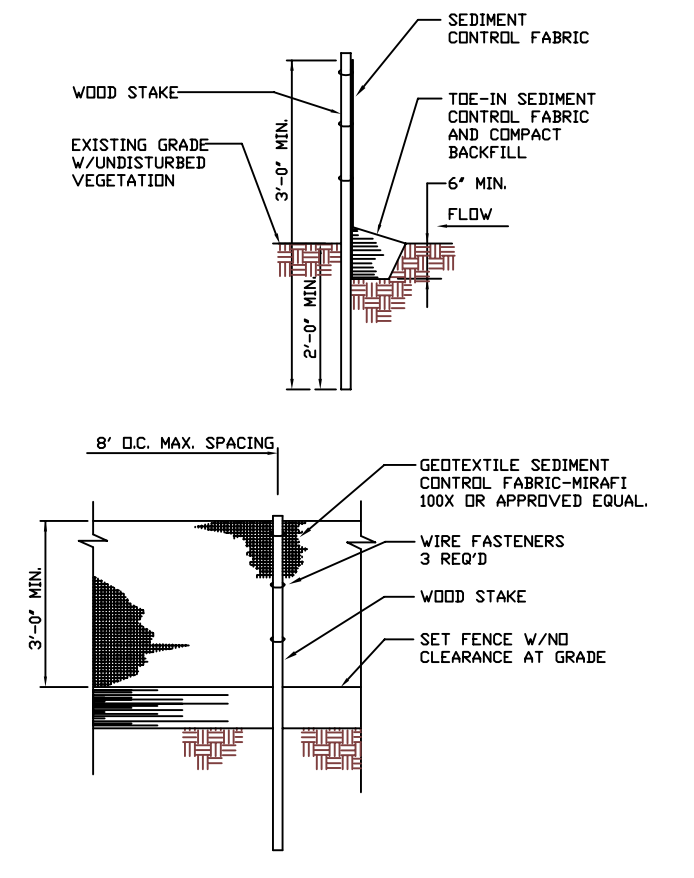
NOTE: LIMITS OF DISTURBANCE IS ALSO SILT FENCE LINE. TOTAL LIMITS OF DISTURBANCE = 1.24 ACRES

MAINTENANCE SCHEDULE

1. CONTRACTOR SHALL CHECK SILT FENCE EVERY WEEK, AND SHALL MAKE REPAIRS AS NECESSARY.
2. CONTRACTOR SHALL CHECK INLET FILTERS WITHIN ONE DAY AFTER A STORM, AND SHALL REPAIR AND CLEAN AS NECESSARY.
3. CONTRACTOR SHALL CHECK SILT TRAPS WITHIN ONE DAY AFTER A STORM, AND SHALL CLEAN AS NECESSARY.

SOIL EROSION CONTROL NOTES:

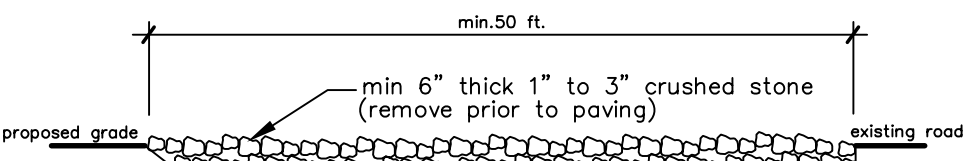
1. All erosion and sediment control work shall conform to standards and specifications of the Livingston County Drain Commissioner.
2. Daily inspections shall be made by Contractor for effectiveness of erosion and sedimentation control measures, and when necessary, repairs shall be performed without delay.
3. Erosion and any sedimentation from work on this site shall be contained on the site and not allowed to collect on any off-site areas or in waterways.
4. Contractor shall apply temporary erosion and sedimentation control measures as shown on these plans in the following sequence:
 - Install silt fence (INSPECT AS NEEDED)
 - Cut drive
 - Install stone diaper at the CONSTRUCTION entrance
 - Strip topsoil and stockpile on site
 - Construct DETENTION POND & storm sewer system
 - Mass grade site
 - Remove stone diaper
 - Place curb & gutter
 - Place pavement
 - Finish grade landscaped areas, topsoil, seed and mulch
 - Remove silt fence upon establishment of vegetation
5. The Contractor shall preserve natural vegetation as much as possible.
6. All areas disturbed during construction shall be restored with 3" (min.) of topsoil, seeded and mulched.
7. All common areas (detention/sediment basins, drainage easements, boulevards, etc.) shall be stabilized within 15 days after grade work.
8. Any dewatering required shall have a dewatering plan submitted prior to starting the activity and may require EGLE approval.



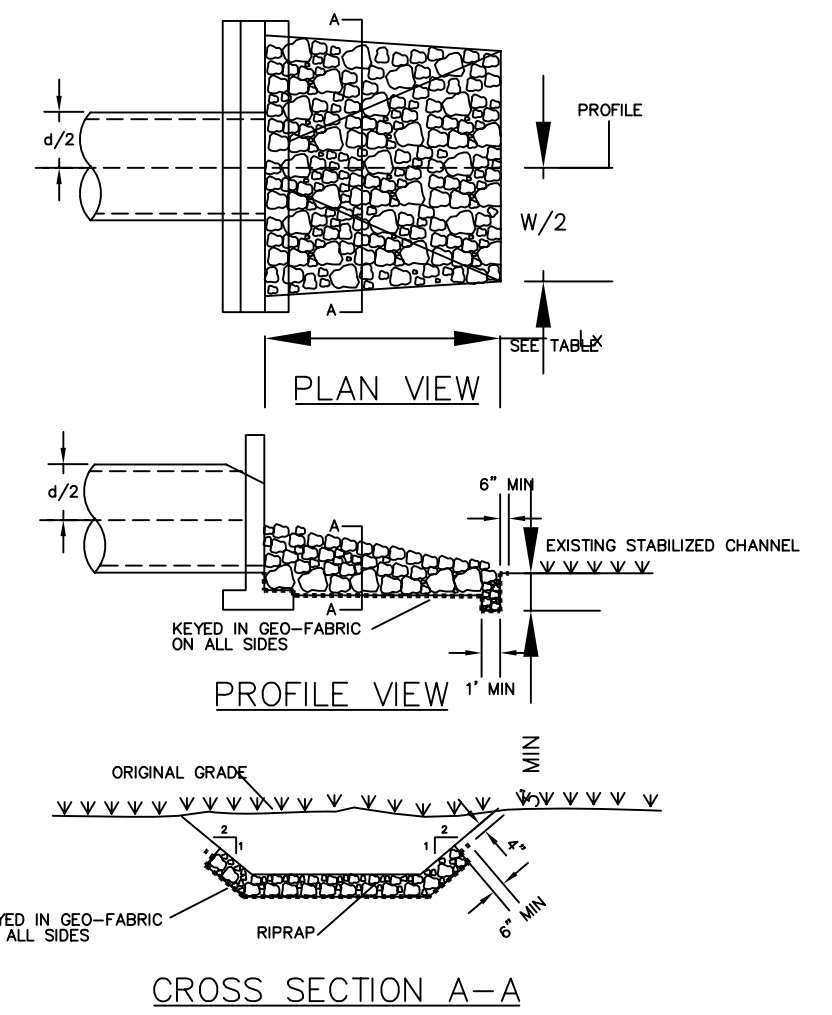
SILT FENCE DETAIL
NO SCALE

AREA OF DISTURBANCE = 1.24 ACRES

ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT PAVED OR STONED OR SOODED SHALL BE RESTORED WITH A MINIMUM OF 3" OF TOPSOIL, HYDRO-SEED OR SEEDED AND TACKLED. SEED SHALL BE A MIXTURE OF 50% KENTUCKY BLUEGRASS, 50% FESCUE AND 50% RYE. THE SEED SHALL BE SOWN AT A RATE OF 210 POUNDS PER ACRE. ALL SEEDING SHALL BE FERTILIZED USING A COMMERCIAL GRADE FERTILIZER CONSISTING OF 10% NITROGEN, 20% PHOSPHATE AND 10% POTASH PLACED AT A RATE OF 150 LBS PER ACRE. HYDRO-SEEDING IS NOT ACCEPTABLE FOR SLOPES EXCEEDING 1% ALL SLOPES EXCEEDING 1% SHALL BE SEEDED AND TACKLED OR STABILIZED WITH STRAW BLANKETS PEGGED IN PLACE.



TRACKING MAT DETAIL
NO SCALE



- RIP-RAP CONSTRUCTION NOTES:
1. The subgrade for the filter or riprap shall be prepared to the required lines and grades as shown on the plan. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
 2. The riprap shall conform to the grading limits as shown on the plan.
 3. Filter cloth shall be protected from punching, cutting, or tearing. Any damage to the filter shall be immediately repaired or replaced.
 4. Stone for the riprap may be placed by equipment. Riprap shall be placed so as to prevent damage to the filter cloth. Hand placement may be necessary to prevent damage to conduits, or structures.

DA (in)	Q cft	Lx (ft)	W (ft)	RIPRAP SIZE (in)
12"	10	30	31.00	4 to 8
15"	10	30	31.25	4 to 8
18"	10	30	31.5	4 to 8
21"	10	30	31.75	4 to 8
24"	10	30	32.00	4 to 8
27"	10	30	32.25	4 to 8
30"	10	30	32.50	4 to 8
36"	10	30	33.00	4 to 8
42"	10	30	33.50	4 to 8
48"	10	30	34.00	4 to 8

Note: All riprap dimensions are based on pipe flowing full at max velocity = 10cfs. All riprap rock size shall be 4" to 8".

ENGINEERED RIP-RAP DETAIL

REVISIONS:
02-31-26 REVISED PER AGENCY COMMENTS

OWNER/ENGINEER OFFICE:
RON BERGMAN
RMB COMMERCIAL, LLC
5454 BYRON ROAD
HOWELL, MI. 48843
ronb@precisioncommercialvac.com
517-861-5200





RMB COMMERCIAL, LLC
4590 W. GRAND RIVER AVENUE
HOWELL, MI. 48843
SOIL EROSION CONTROL SITE PLAN

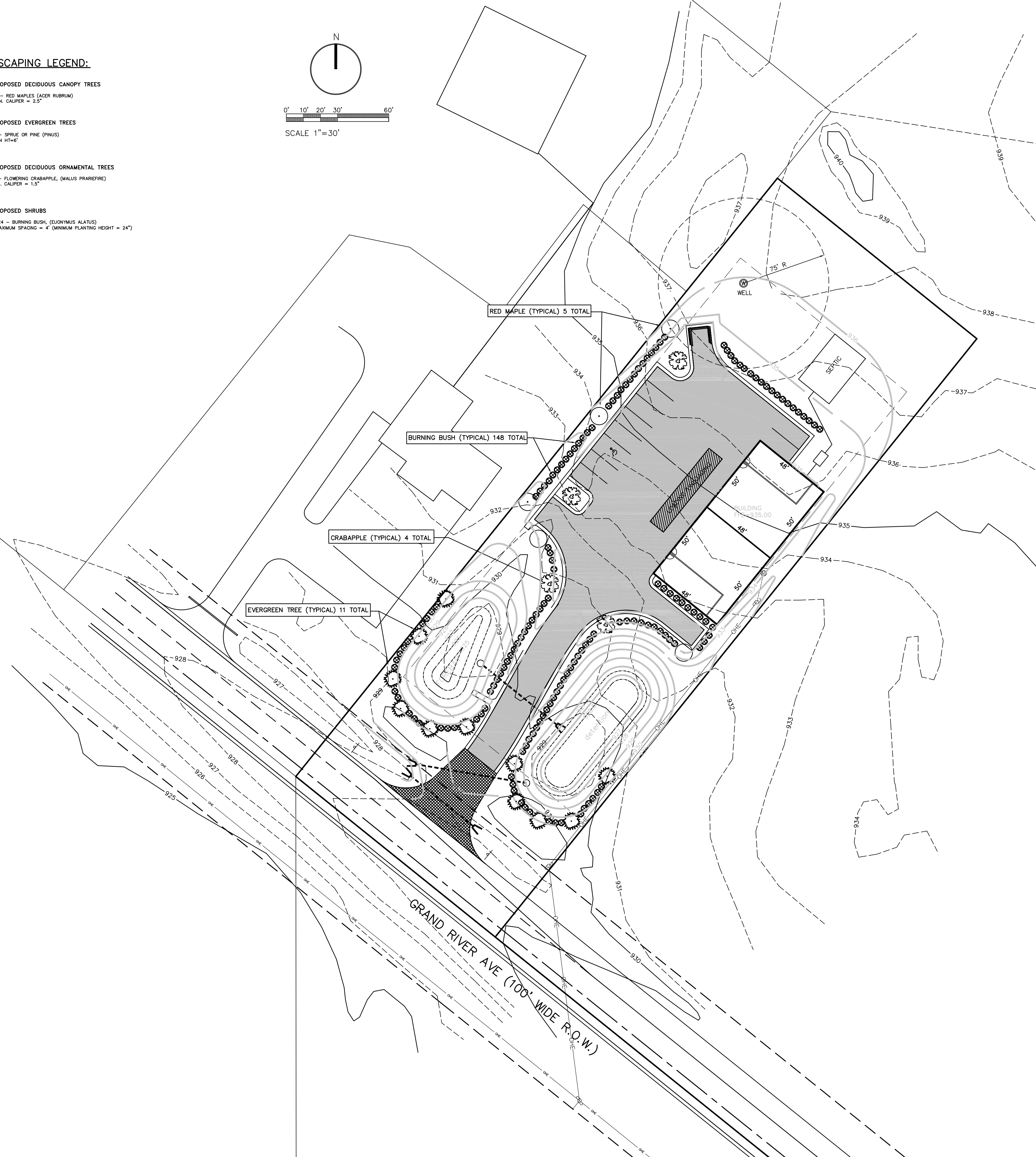
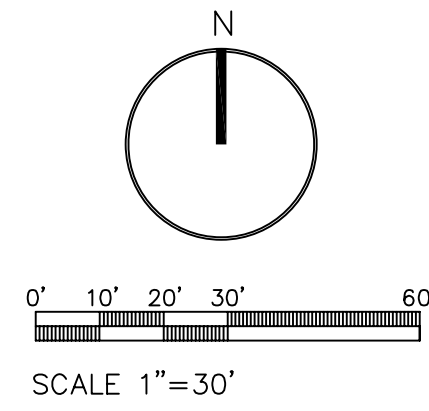
ACE CIVIL ENGINEERING
5055 Linshire, Farmville, MI. 48836 517-245-4141 • acecivil@gmail.com

DATE: 11-25-25
DRAWN BY: PCK
CHECKED BY: PCK
JOB No.: 25006

DRAWING No.:

LANDSCAPING LEGEND:

- 
PROPOSED DECIDUOUS CANOPY TREES
 5 - RED MAPLES (ACER RUBRUM)
 MIN. CALIPER = 2.5"
- 
PROPOSED EVERGREEN TREES
 11 - SPRUCE OR PINE (P.NUS)
 MIN. HT=6'
- 
PROPOSED DECIDUOUS ORNAMENTAL TREES
 4 - FLOWERING CRABAPPLE, (MALUS PRARIFIRE)
 MIN. CALIPER = 1.5"
- 
PROPOSED SHRUBS
 224 - BURNING BUSH, (EUONIMUS ALATUS)
 MAXIMUM SPACING = 4' (MINIMUM PLANTING HEIGHT = 24")



LANDSCAPE REQUIREMENTS:

SECTION 28.02(i)(g) - DETENTION POND:

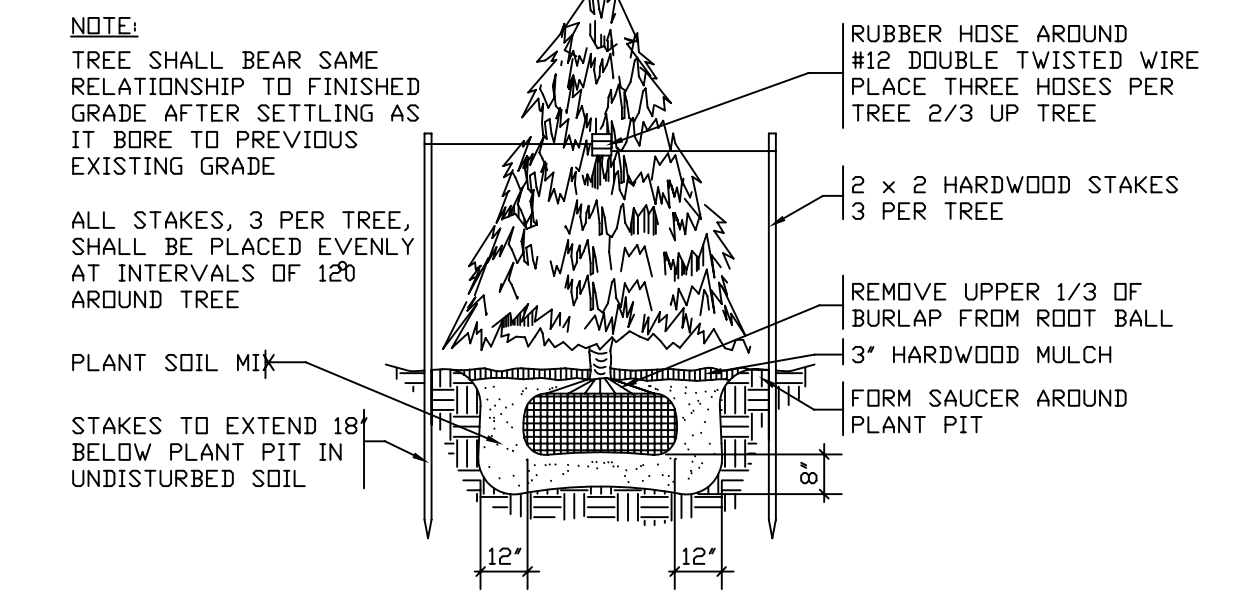
REQUIRED: (1) DECIDUOUS TREE OR EVERGREEN TREE = 562 LF/50 LF = 12 TREES
 (10 SHRUBS) PER 50 LINEAR FEET OF DETENTION POND = 562 LF/50 LF X 10 = 112 SHRUBS

SECTION 28.03(A)(3) - ROADS AND HIGHWAYS (ALONG GRAND RIVER FRONTAGE):

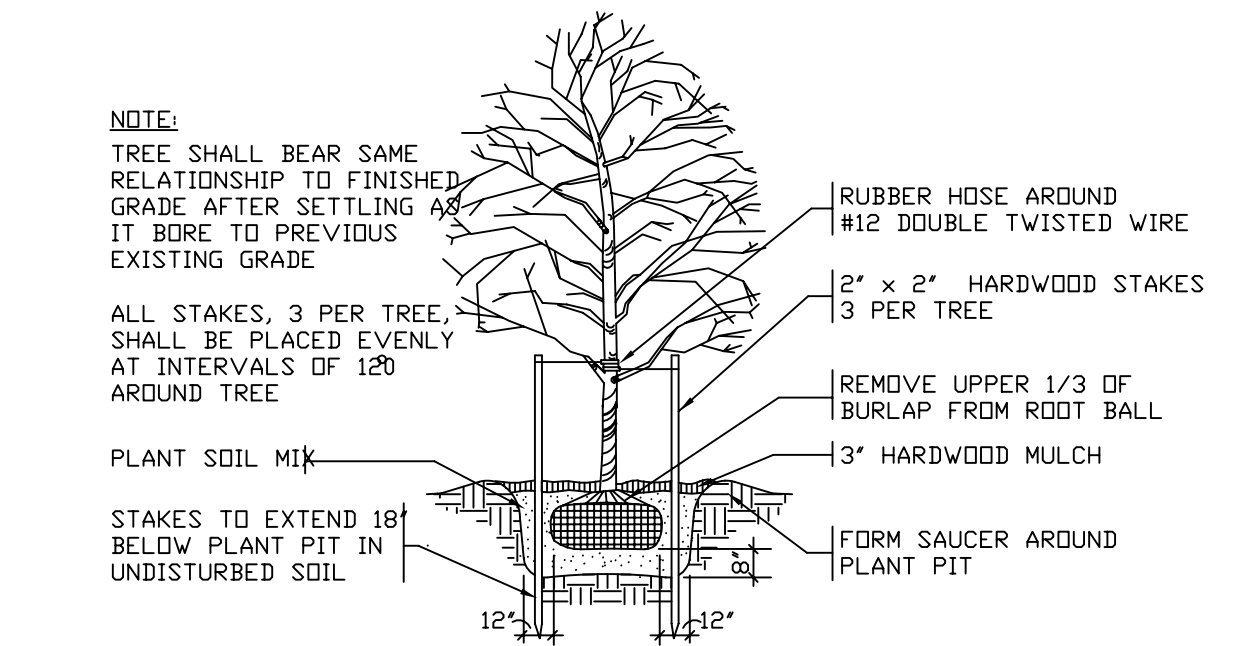
REQUIRED: (1) DECIDUOUS TREE OR EVERGREEN TREE PER 40 LF OF FRONTAGE = 150 LF/40 LF = 4 TREES
 (1) ORNAMENTAL TREE PER 100 LF OF FRONTAGE = 150 LF/ 100 LF = 2 ORNAMENTAL TREES
 (8) SHRUBS PER 40 LF OF FRONTAGE = 150 LF/ 40 LF X 8 = 30 SHRUBS

SECTION 28.03(A)(4) - FOUNDATION PLANTINGS:

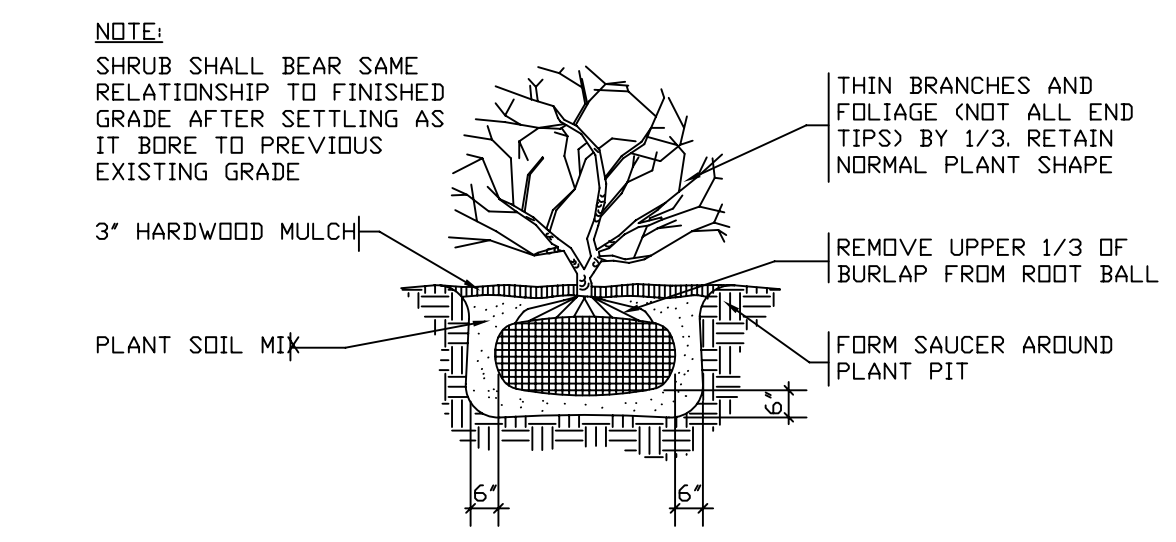
(1) ORNAMENTAL TREE PER 35 LF OF BUILDING = 48 LF/ 35 LF = 2 ORNAMENTAL TREES
 (5) SHRUBS PER 35 LF OF BUILDING = 48 LF/ 35 LF X 5 = 7 SHRUBS



EVERGREEN TREE PLANTING DETAIL
 NO SCALE



DECIDUOUS TREE PLANTING DETAIL
 NO SCALE



SHRUB PLANTING DETAIL
 NO SCALE

LANDSCAPING NOTES:

1. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED (50% KENTUCKY BLUEGRASS, 50% FESCUE, 20% RYE TYPE) OVER 3" (MIN.) TOPSOIL
2. PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON THE PLAN.
3. ALL LANDSCAPING AND LANDSCAPE ELEMENTS SHALL BE PLANTED, AND EARTH MOVING OR GRADING PERFORMED IN A SOUND WORKMANLIKE MANNER, ACCORDING TO ACCEPTED PLANTING AND GRADING PROCEDURES.
4. ALL LANDSCAPING SHALL BE MAINTAINED IN A REASONABLY HEALTHY CONDITION, FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE (1) YEAR OF DAMAGE OR DEATH, OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICH EVER COMES FIRST.
8. ALL DISTURBED AREAS AFTER CONSTRUCTION SHALL BE SEEDED AND MULCHED.

REVISIONS:
 02-31-28 REVISED PER AGENCY COMMENTS

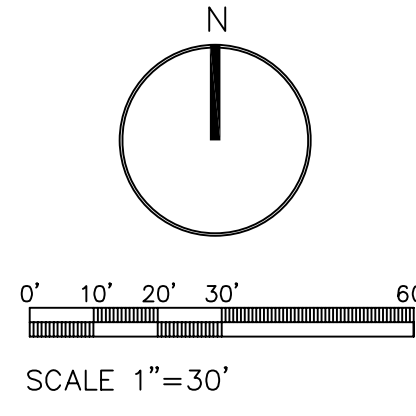
OWNER/DESIGNER OFFICE:
 RON BERGMAN
 RMB COMMERCIAL, LLC
 5454 BYRON ROAD
 HOWELL, MI. 48843
 ronb@precisioncommercialvac.com
 517-861-5200

RMB COMMERCIAL, LLC
 4590 W. GRAND RIVER AVENUE
 HOWELL, MI. 48843
LANDSCAPE PLAN

ACE CIVIL ENGINEERING
 5055 Linshire, Fowlerville, MI. 48836 517-245-4141 • acecivil@gmail.com

DATE: 11-25-25
 DRAWN BY: PCK
 CHECKED BY: PCK
 JOB No.: 25006

DRAWING No.



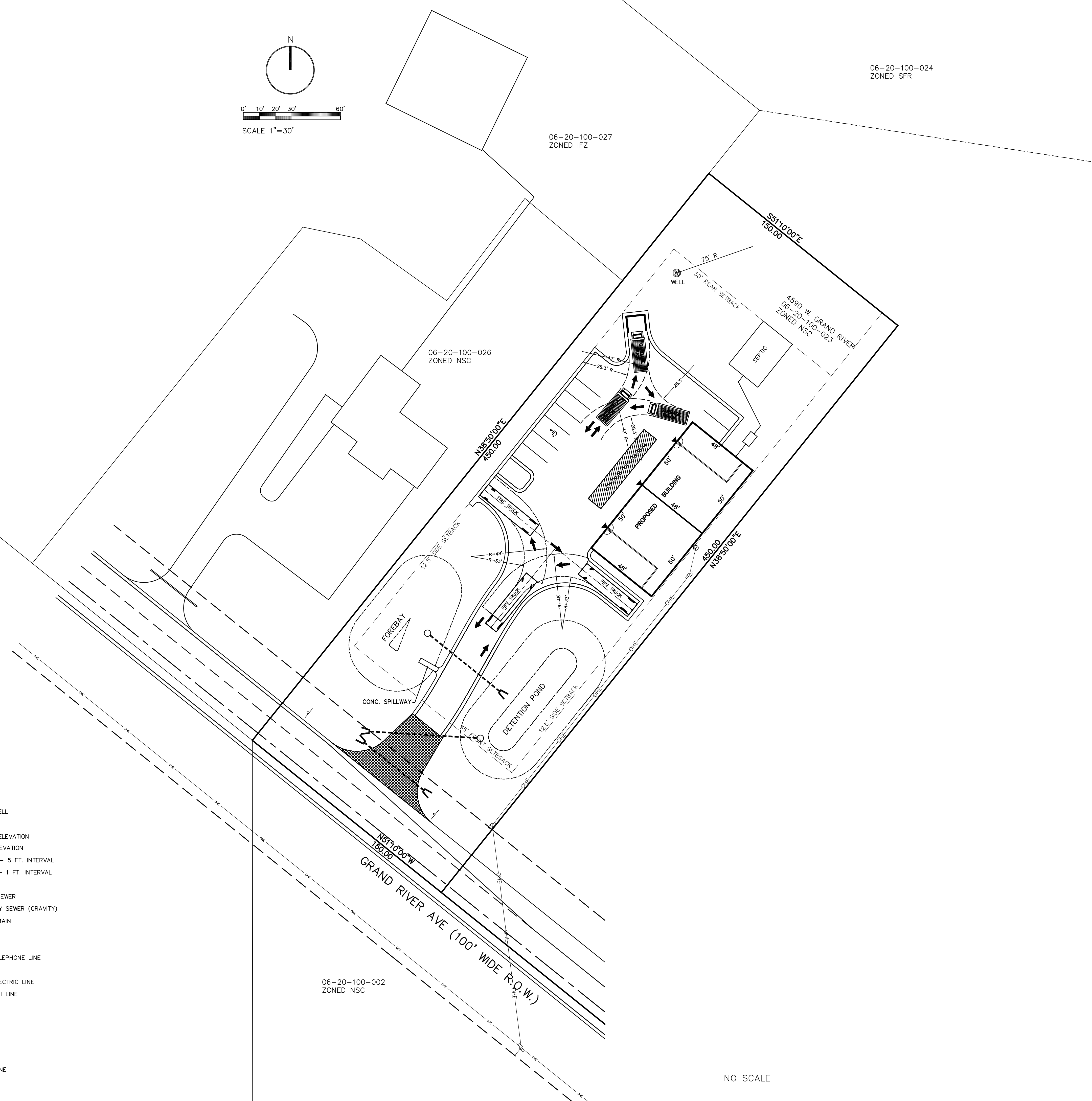
06-20-100-024
ZONED SFR

06-20-100-027
ZONED IFZ

06-20-100-026
ZONED NSC

4590 W. GRAND RIVER
06-20-100-023
ZONED NSC

06-20-100-002
ZONED NSC



LEGEND

- DRAINAGE FLOW
- LIGHT POLE
- SIGN
- UTILITY POLE
- CATCH BASIN
- MANHOLE
- GATE VALVE IN WELL
- HYDRANT
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- MAJOR CONTOUR - 5 FT. INTERVAL
- MINOR CONTOUR - 1 FT. INTERVAL
- FENCE LINE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER (GRAVITY)
- EXISTING WATER MAIN
- GAS MAIN
- TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD ELECTRI LINE
- DECIDUOUS TREE
- CONIFEROUS TREE
- TREE & BRUSH LINE

NO SCALE

REVISIONS:

3/21/26	ADDED VEHICLE CIRCULATION PATHS
---------	---------------------------------

OWNER/ENGINEER/DATE:
 RON BERGMAN
 RMB COMMERCIAL, LLC
 5454 BYRON ROAD
 HOWELL, MI. 48843
 ronb@precisioncommercialvac.com
 517-861-5200

RMB COMMERCIAL, LLC
 4590 W. GRAND RIVER AVENUE
 HOWELL, MI. 48843
TRUCK CIRCULATION PLAN

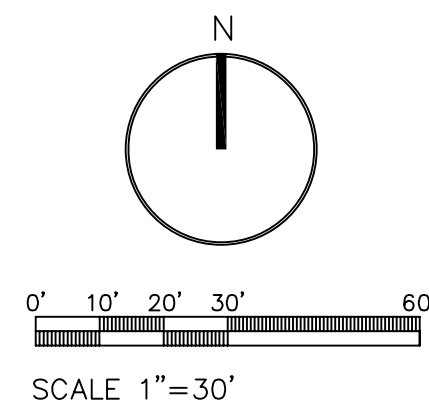
ACE CIVIL ENGINEERING
 5055 Linshire, Fowlerville, MI. 48838 517-945-4141 • acecivil@gmail.com

DATE:	03-30-26
DRAWN BY:	PCK
CHECKED BY:	PCK
JOB No.:	25006

DRAWING No.
 08

LEGAL DESCRIPTION:

A part of the Northwest ¼ of Section 20, Town 3 North, Range 4 East, Howell Township, Livingston County, Michigan, more particularly described as follows: Commencing at the North ¼ corner of said Section 20; thence along the North-South ¼ line of said Section 20 as monumented; South 00° 17' 46" West, 1324.29 feet to a concrete monument; thence continuing along the North-South ¼ line, as monumented and the West line of Newmans Grand View Estates, a subdivision as recorded in Plat Liber 8, page 24, Livingston County Records, South 00° 03' 00" East, 796.65 feet; thence along the centerline of Grand River Avenue (100 foot right of way), North 51° 30' 40" West, 192.50 feet; thence continuing along the centerline of Grand River Avenue North 51° 10' 00" West, 367.31 feet to the POINT OF BEGINNING of the parcel to be described; thence continuing along the centerline of Grand River Avenue, North 51° 10' 00" West, 150.00 feet; thence North 38° 50' 00" East, 450.00 feet; thence South 51° 10' 00" East, 150.00 feet; thence South 38° 50' 00" West, 450.00 feet to the POINT OF BEGINNING.



06-20-100-024
ZONED SFR

06-20-100-027
ZONED IFZ

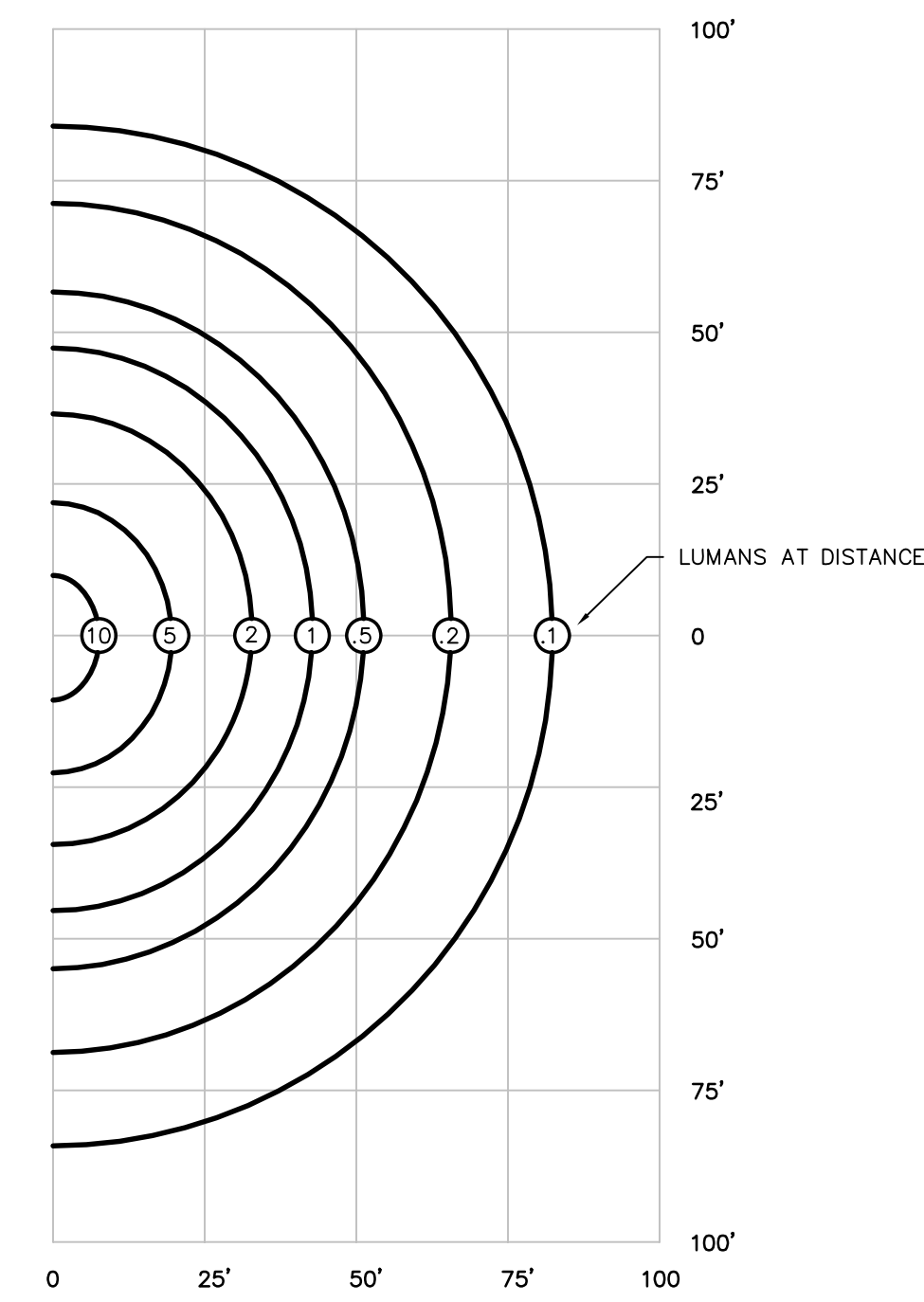
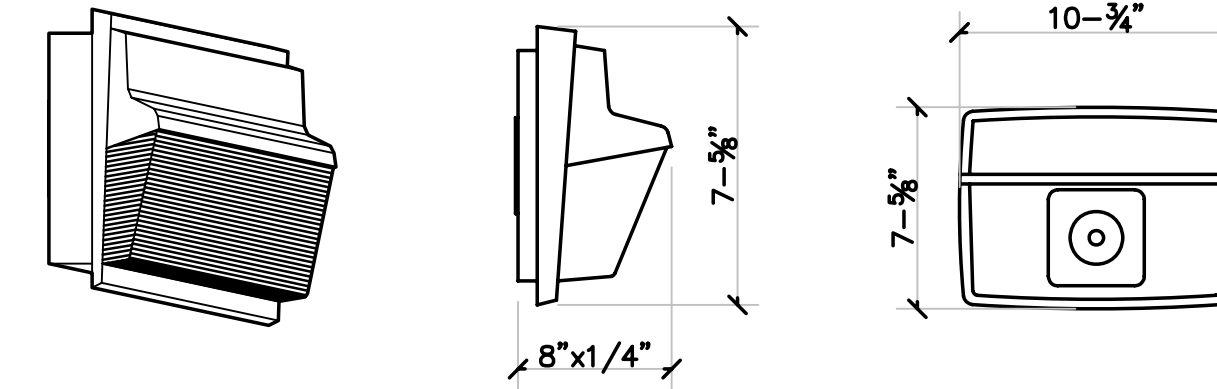
06-20-100-026
ZONED NSC

4590 W. GRAND RIVER
06-20-100-023
ZONED NSC

06-20-100-024
ZONED NSC

06-20-100-002
ZONED NSC

PROPOSED WALLPACK LIGHT FIXTURES (3 TOTAL)
MOUNTED AT 12 FOOT HEIGHT WITH DOWNWARD
LIGHT SHIELDS. LEDVANCE LUMINAIRE MODEL
WALPAKN6AS080UNVT2 OR APPROVED EQUAL.



LEDVANCE LUMINAIRE 120 WATT MODEL
WALPAKN6AS080UNVT2 LUMAN CHART

PROVIDE NEW PAINT STRIPING IN THIS
AREA TO REDEFINE DECELERATION
TAPER TO DIMENSIONS SHOWN IN
ACCORDANCE WITH LIVINGSTON COUNTY
ROAD COMMISSION PERMITTING.

PAVEMENT CROSS SECTION TO
MATCH LCRS STANDARDS THIS AREA

LEGEND

- DRAINAGE FLOW
- LIGHT POLE
- SIGN
- UTILITY POLE
- CATCH BASIN
- MANHOLE
- GATE VALVE IN WELL
- HYDRANT
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- MAJOR CONTOUR - 5 FT. INTERVAL
- MINOR CONTOUR - 1 FT. INTERVAL
- FENCE LINE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER (GRAVITY)
- EXISTING WATER MAIN
- GAS MAIN
- TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD ELECTRI LINE
- DECIDUOUS TREE
- CONIFEROUS TREE
- TREE & BRUSH LINE

REVISIONS:

3/20/28	ADDED VEHICLE CIRCULATION PATHS
3/23/28	REVISED PER AGENCY COMMENTS

OWNER/ENGINEER:

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HOWELL, MI. 48843
ronb@precisioncomforthvac.com
517-861-5200

RMB COMMERCIAL, LLC
4590 W. GRAND RIVER AVENUE
HOWELL, MI. 48843

PHOTOMETRIC GRID PLAN

ACE
CIVIL
ENGINEERING

5055 Livestock, Fowlerville, MI. 48834 517-245-4141 • acecivil@gmail.com

DATE: 11-25-25
DRAWN BY: PCK
CHECKED BY: PCK
JOB No.: 25006

DRAWING No. 9



ACE
CIVIL ENGINEERING, LLC

April 1, 2006

Howell Township Planning Commission
3525 Byron Road
Howell, Mi. 48855

Re: RMB Commercial Property – Ron Bergman

Dear Planning Commission Members:

Attached are site plan drawings for the above referenced project with the following revisions made per comments made by Spicer Group in a correspondence dated March 18, 2026 and Carlisle Wortman in a correspondence dated March 16, 2026.

- #1 Drawings will be reviewed by the Fire Marshall, Livingston County Drain Commission, Livingston County Road Commission and Livingston County Health Department as part of the construction permitting.
- #2 The concrete curb on the west side of the parking lot has been moved by 1 foot to fall outside of the required side yard setback.
- #3 A photo-metric lighting plan has added to the plan set to show lighting levels are zero at the property lines.
- #4 A pavement cross section detail has been added to sheet 3 of the plans that calls for a heavier pavement section within the Livingston County Road right of way.
- #5 Notes and details have been added to sheet 3 of the plans to show the approach adjustments and deceleration paint striping adjustments requested by the Livingston County Road Commission.
- #6 The property dimensions shown on the site plan are per a warranty deed provided to the owner by Liberty Title Company as part of the purchase of the property. The warranty deed description matches a recorded survey by Boss Engineering recorded in Livingston County Records Liber 1549 page 631. The Livingston County GIS aerial survey and tax description for the adjacent larger parcel (Tax I.D 06-20-100-007) shows a 42.5 foot gap between the properties on the West side. It appears the tax description information for the larger parcel does not match the title work and is in error.

- #7 The required front yard setback has been increased to 50 feet along Grand River Avenue. The detention pond has been redesigned to fall outside of a 20 foot front yard setback as required in section 26.05 of the zoning ordinance.
- #8 Traffic on the site will generally be employee cars and service vans for HVAC services. A truck circulation plan has been added (sheet 8 of the plans) to demonstrate the possible fire truck and occasional garbage truck movements on the site.
- #9 The loading space has been moved to the side of the building and dimensions added.
- #10 End caps have been added to the end of the parking areas.
- #11 The landscape plan has been revised to add three trees and seven shrubs to provide the required foundation landscaping.

We believe the above revisions address all outstanding issues regarding the site plan drawings and look forward to seeing you at the next available planning commission meeting to be considered for site plan approval.

Sincerely,

ACE CIVIL ENGINEERING, LLC



Patrick C. Keough, P.E.
President

007270 11131628

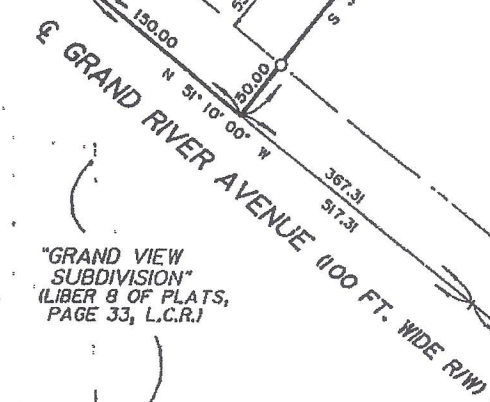
9/2

LIBER 1549 PAGE 0631



BOSS ENG. CO.
JOB #90291
(LIBER 1443,
PAGES 0884-0887,
L.C.R.)

1.55±
ACRES



"GRAND VIEW
SUBDIVISION"
(LIBER 8 OF PLATS,
PAGE 33, L.C.R.)

N 1/4 COR.
SEC. 20
T3N-R4E

RECORDED
MAR 16 11 DE AM '92

"NEWMAN'S
GRAND VIEW
ESTATES"
(LIBER 8 OF PLATS,
PAGE 24, L.C.R.)

BEARINGS ESTABLISHED FROM A PREVIOUS
SURVEY BY BOSS ENG. CO., JOB #90291,
LIBER 1443, PAGES 0884-0887, L.C.R.
(C.L.S. #4611)

Center, Sec. 20, T3N-R4E
1/2" Iron Pd.
S40°E 37.35' Spike & Tag in
Utility Pole
S25°W 36.72' Spike & Tag in
Utility Pole
North 46.08' Spike & Tag in
Utility Pole
N55°W 35.70' Spike & Tag in
Twin 10" Box Elder

N 1/4 Cor, Sec. 20, T3N-R4E
1/2" Iron Pd.
North 14.75' P.K. in E/S 20"
Hickory
S80°W 74.25' Spike & Tag in
N/S 20" Cherry
S2°W 37.96' Spike & Tag in
E/S 14" Cherry
N78°E 82.45' Spike & Tag in
S/S 50" Oak

THE RATIO
2 AND
132-10.

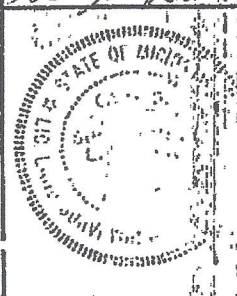
Samuel B...

DESCRIPTION:
PART OF THE NW 1/4 OF
SECTION 20, T3N-R4E,
HOWELL TOWNSHIP,
LIVINGSTON COUNTY,
MICHIGAN.



BOSS ENGINEERING
ENGINEERS & SURVEYORS

MAIN OFFICE:
3121 E. GRAND RIVER
HOWELL, MICHIGAN 48843
HOWELL (517)548-4838
BRIGHTON (313)229-4773
CHARLEVONX (818)947-2872



CLIENT:
T.S.C. INDUSTRIES

JOB NO. 91536
SHEET 1 OF 2

SCALE: 1 INCH = 100 FEET.

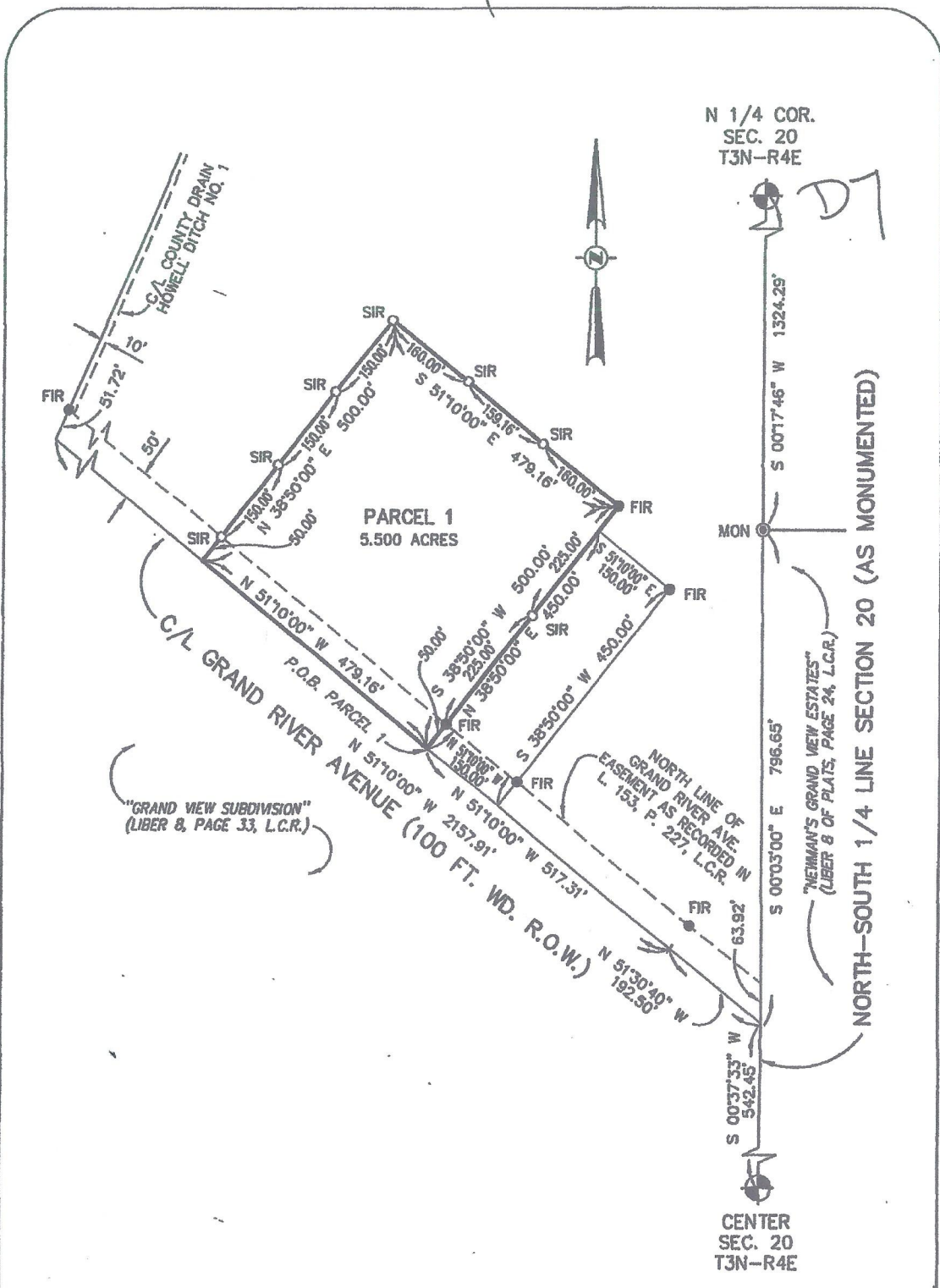
DATE: 11-27-91

FB: [] CREW: []
DR. KPB CHKD.

LEGEND

- = IRON SET
- = NOT FOUND
- = MONUMENT FOUND
- = FENCE
- = RECORDED
- = MEASURED
- = SOIL BORINGS.

2N4E 07 10



N 1/4 COR.
SEC. 20
T3N-R4E

D7

PARCEL 1
5.500 ACRES

"GRAND VIEW SUBDIVISION"
(LIBER 8, PAGE 33, L.C.R.)

"NEWMAN'S GRAND VIEW ESTATES"
(LIBER 8 OF PLATS, PAGE 24, L.C.R.)

NORTH-SOUTH 1/4 LINE SECTION 20 (AS MONUMENTED)

I HEREBY CERTIFY that I have surveyed and mapped the land above plotted and/or described on 02-04-98, and that all of the requirements of P.A. 132, 1970, as amended, have been complied with, and that the ratio of closure on the unadjusted field observations of such survey was no greater than 1 in 10,000.

REGISTERED LAND SURVEYOR No. 19834

CLIENT:

IRISH

NW 1/4 SEC. 20, T3N,R4E HOWELL TWP.

- M - Measured Dist. R - Recorded Dist.
- MON - Found Concrete Monument
- FIR - Found Iron Rod
- FIP - Found Iron Pipe
- SIR - Set Iron Rod
- SPK - Set "PK" Nail
- P.O.B. - Point of Beginning
- x-x- Fence



HUGHES
LAND SURVEYORS

DARRELL HUGHES & ASSOCIATES, Inc.
P.O. BOX 1039 - 638 SOUTH GRAND AVE.
FOWLERVILLE, MICHIGAN 48838
(OFC) 517 223-3512 (FAX) 517 223-9987

SCALE: 1" = 200' DATE: 02-18-98 DR. BY: LH CHK: DDH
SHEET: 1 of 2 FILE: 98748SV1.DWG JOB No. 98748

3N/4E

D7

11

RE: 4590 W Grand River Updated Site Plan

From Kim Hiller <khiller@livingstonroads.org>

Date Thu 4/2/2026 11:35 AM

To Howell Township Treasurer <treasurer@howelltownshipmi.org>; Bryan Hager <hafdingspector20@gmail.com>; Ken Recker <krecker@livgov.com>

Good morning Jonathan,

Conceptually the commercial approach appears to meet our standard dimensions, sight distance, and offset requirements for a commercial approach. It should be noted that any storm water discharged into the LCRC road drainage system shall not present an increase in the rate or volume of storm water entering the county road ROW.

We have not received a commercial driveway approach permit application for this project. Once it is received, I will complete my review and copy you on any correspondence.

Thank you,
Kim

Kim Hiller, P.E.

Utilities and Permits Engineer

Livingston County Road Commission

3535 Grand Oaks Drive

Howell, MI 48843

Ph. (517) 546-4250 Ext. 139

Office Hours: M-F 7:00 AM – 3:30 PM

From: Howell Township Treasurer <treasurer@howelltownshipmi.org>

Sent: Thursday, April 2, 2026 10:50 AM

To: Bryan Hager <hafdingspector20@gmail.com>; Kim Hiller <khiller@livingstonroads.org>; Ken Recker <krecker@livgov.com>

Subject: Fw: 4590 W Grand River Updated Site Plan

Please see revised plans for site plan at 4590 W. Grand River.

Thanks,

Jonathan

Howell Township Treasurer

April 8, 2026

Jonathan Hohenstein, Treasurer and Zoning Administrator
Howell Township
3525 Byron Road
Howell, MI 48855

RE: RMB Commercial
4590 W. Grand River Avenue
Preliminary Site Plan Review, Second Review

Mr. Hohenstein,

We have received and reviewed the preliminary and final site plan for the proposed RMB Commercial site at 4590 West Grand River Avenue. The plans were prepared by Ace Civil Engineering and are dated March 31, 2026. Based on the applicant request, we are reviewing the site plan for both preliminary and final requirements and we offer the following comments:

General

The site comprises a single parcel located on Grand River Avenue between Flemming Road and Emmons Road. The site is 1.55 acres and is zoned as Neighborhood Services Commercial (NSC). The proposed use for the site is not indicated on the plans or the application but appears to be office/shop/warehouse in nature. The property is bordered by NSC zoning with Single-Family Residential (SFR) and Industrial Flex Zone zoning nearby to the north and west.

The cover sheet includes the project name (*RMB Commercial or Precision Comfort*), the owner's name and address (*RMB Commercial LLC.*), the name and address of the firm preparing the plans (*Ace Civil Engineering*), a vicinity map, the preparation date, and a legal description of the parcel, including bearings and distances.

The cover sheet also includes setback information. The identified required setbacks align with the values specified in the Howell Township Zoning Ordinance, and the provided setbacks meet or exceed the listed minimum requirements.

An existing conditions topographical map is included in the plan. This map features property lines, 1-foot contour intervals, and clearly identifies and labels adjacent roads, existing easements, tree locations, soil conditions, and existing structures and pavement. The plans meet the Township requirements.

A photometric lighting plan was included in the submitted plan set with lighting indicated on the west side of the building. The wall mounted fixtures are shielded downward. A note of the plans states the fixtures are to be mounted 12 foot high. The photometric plan indicates reasonable light levels in the drive lanes although the level in the area of the parking stalls themselves is low. Light levels at the property line are almost negligible at 0.1 to 0.2 foot candles which are acceptable in this setting.

Grading and Drainage

The site currently drains by sheet flow from northeast to southwest, with a culvert along Grand River Avenue facilitating water movement across the existing paved approach.

April 8, 2026
2 of 3

The proposed stormwater management plan for the site indicates that stormwater will drain by sheet flow to swales along the east and west property lines. It will then flow into sedimentation and detention basins in the front of the site adjacent to the driveway and ultimately discharging to the Grand River Avenue right-of-way. This will require a permit from the Livingston County Road Commission.

Stormwater detention calculations have been provided. The calculations provided indicate that the detention volume provided is adequate to store their calculated 100-year storm volume. The calculations will be examined in greater detail during construction plan review.

Sanitary Sewer

There is no public sanitary sewer which can service this site. An on-site septic system is proposed to the north of the building. The septic system will require approval from the Livingston County Health Department.

Water main

There is no public water system available to serve the site. A well is being proposed in the northwest corner of the property. The well isolation distance is indicated and the septic system being proposed for this site is outside the required distance. The well will require a Livingston County Health Department permit. The applicant should verify during the application process that there is no existing septic system on the adjacent parcel to the west that would infringe on the well isolation requirement.

Site Access and Paving

There is an existing driveway and paved parking area that will be removed as part of this project. The proposed drive approach appears to be in the same location as the existing approach. Nine parking spaces are being provided for this site. Parking calculations are included and based on the listed building classifications the parking requirement is met.

The driveway and the parking aisles appear to meet Township width requirements. The parking space dimensions are adequate.

The pavement section shown on the plans is adequate for the paved areas within the site. For the drive approach in the Grand River ROW, the section meets the minimum required by MDOT/LCRC of 5-inches HMA on 7-inches MDOT 21AA Aggregate on 10-inches of MDOT CL II sand. We would recommend using the concrete pavement section for the dumpster pad in-lieu of the proposed HMA section. This will provide a longer service life.

A site access plan has been provided, showing that a garbage truck and WB-50 truck can traverse the site. Any trucks, including fire apparatus, will be required to turn around within the site as there is only one entrance and limited maneuvering space. However, it does appear functional. Other comments regarding the emergency access plan are deferred to the Fire Marshal.

The proposed Grand River Avenue approach appears to meet the dimensional requirements of MDOT and LCRC. LCRC has confirmed the concept is acceptable but further comments are possible after an official commercial drive permit is applied for. Additional comments regarding the approach are deferred to MDOT and LCRC.

April 8, 2026
3 of 3

Landscaping

A landscaping plan is provided. The proposed plantings do not appear to conflict with any of the site utilities or infrastructure. Further comments on parking and landscaping are deferred to the Township Planner.

Recommendations

Should the Planning Commission decide to proceed with approval of this project, we recommend the following conditions be placed with approval:

1. Plans should be reviewed and approved by:
 - a. Fire Marshal
 - b. Township Planner
 - c. Livingston County Drain Commissioner
 - d. Livingston County Road Commission
 - e. Livingston County Health Department

If you have any questions or need anything further, please feel free to contact our office.

Sincerely,



Philip A. Westmoreland, P.E.
Executive Vice President
Phone: (517) 375-9449
philaw@spicergroup.com

SPICER GROUP, INC.
30300 Telegraph Rd, Suite 100
Bingham Farms, MI 48025

CC: SGI File
Ken Recker, Livingston County Chief Deputy Drain Commissioner
Paul Montagno, Carlisle Wortman
Patrick Keough, P.E. Ace Civil Engineering



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: April 17, 2026
Revised: March 31, 2026

Site Plan Review For Howell Township, Michigan

Applicant:	Ron Bergman
Project Name:	4590 W. Grand River
Plan Date:	November 25, 2025
Revision Date:	March 31, 2026
Location:	4590 W. Grand River Ave. (Parcel #4706-20-100-023)
Zoning:	NSC – Neighborhood Service Commercial
Action Requested:	Preliminary Site Plan Approval

PROJECT AND SITE DESCRIPTION

The applicant has submitted a Preliminary Site Plan, with a revision dated of March 31, 2026, for a proposed office building. The site is located on Grand River Ave. between North Burkhardt and Warner Roads. It appears that this development will be used for the office buildings used for the sales of HVAC equipment. Offices and shops for local contractors and service providers including retail sales of parts, equipment, and supplies, and outdoor storage subject to the standards in Section 14.46 are a permitted use in the Neighborhood Service Commercial (NSC) District.

The 1.55-acre site is currently vacant and has an existing driveway and parking area as well as an abandoned sign. The applicant proposes refinishing the driveway and parking area with asphalt or concrete, removing the sign, adding a detention pond, building a 48' by 100' two-story building, and adding a septic tank.

Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Principal*
Richard K. Carlisle, *Past President/Senior Principal*

The site is bordered by commercial buildings to the south and west, single-family homes to the east as well as farmland to the north, east, and south sides of the site. **Figure 1** provides an aerial image of the site.

There is a strip of land to the west of the site that does not appear on the site plan. The applicant included it as part of the site plan and has provided the warranty deed that shows that they own that strip of land.

Figure 1. Aerial Image of Subject Site and Vicinity



Source: Near Map, September 2025

Items to be Addressed: None.

NATURAL FEATURES

The site has no woodlands or water features. There are a few small trees scattered throughout the site that the applicant is planning on removing. There are no wetlands on site according to EGLE Wetlands Map.

Items to be Addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

Table 2 summarizes the lot size, lot width, building height, setback requirements, and lot coverage found schedule of regulations table in Section 3.17 in the Zoning Ordinance.

Table 2. Density, Placement, and Height Regulations

Standard	Required	Provided	Complies
Total Parcel Size	1 acre	1.55 acres	Yes
Lot Width	150 feet	150 feet	Yes
Building Height	30 feet	22' 2 5/8"	Yes
Front Setback	50 feet	174 feet	Yes
Side Setback	10, minimum both side yard setbacks total of 25 feet	West – 88.5 feet East – 13.5 feet	Yes
Rear Setback	35 feet	126 feet	Yes
Lot Coverage	Max 60%	43.67%	Yes

The applicant needs to update the front setback to be fifty (50) feet as the site is along West Grand River, and the west side yard setback to say eighty-eight point five (88.5) feet in the zoning data listed on sheet 3. The building setbacks do comply with the requirement.

The applicant is proposing a detention pond in front of the building on the southeast side of the site, and a septic tank system in the rear yard north of the building. The septic system and detention pond complies with the Zoning Ordinance.

Items to be Addressed:

- 1) *The front yard setback shall be updated to fifty (50) feet.*
- 2) *The side yard setback shall be updated to eighty-eight point five (88.5) feet in the zoning data listed on sheet 3.*

SITE ACCESS AND CIRCULATION

The applicant is proposing using the existing driveway location and parking lot and repaving it with asphalt or concrete. Both are compliant with the Zoning Ordinance, but the applicant shall specify which one they plan on using.

We defer to Engineering and the Fire Chief for further consideration.

Items to be Addressed: *The applicant shall specify whether concrete or asphalt will be used.*

PARKING, LOADING

Section 18.02 requires Industrial Uses to provide one (1) parking space for every employee working during the largest working shift, or one (1) space for every 550 square feet of total floor space, whichever is greater. The applicant provided parking spaces based on the square footage of the building shown on Sheet 3.

$$\begin{aligned} &4800 \text{ square feet of building} / 550 \text{ square feet} \\ &= \mathbf{9 \text{ total required parking spaces}} \end{aligned}$$

The applicant has provided nine (9) parking spaces on the west side of the site, one (1) of the parking spaces will be barrier free. The dimensions of the parking spaces meet the requirements of the Zoning Ordinance.

The applicant is also providing one (1) loading/unloading space on the west side of the building. The dimensions of the loading space complies with the Zoning Ordinance.

Items to be Addressed: *None.*

LANDSCAPING

A landscaping plan has been provided on Sheet 7. Landscaping requirements are noted in **Table 3** are representative of the entire site.

Table 3. Landscaping Requirements

Landscaped Area	Requirement	Factor	Required	Provided
Front Yard along Grand River Ave.	1 deciduous shade or evergreen tree per 40 lineal feet	$(150 / 40 = 3.75)$	4 trees	4 trees
	1 ornamental tree per 100 lineal feet	$(150 / 100 = 1.5)$	2 trees	2 trees
	8 shrubs per 40 ft.	$((150 / 40) * 8 = 30)$	30 shrubs	30 shrubs

Foundation Plantings	1 ornamental tree per 35 lineal feet	$(48 / 35 = 1.37)$	2 trees	2 trees
	5 shrubs per 35 lineal feet	$((48 / 35) * 5 = 6.8)$	7 shrubs	7 shrubs
Retention Pond Plantings	1 deciduous shade or evergreen tree per 50 lineal feet	$(562 / 50) = 11.24$	12 trees	12 trees
	10 shrubs per every 50 lineal feet	$((562 / 50) * 10 = 112.4)$	113 shrubs	112 shrubs

The applicant meets the standards for front yard landscaping along Grand River, and the foundation plantings. There needs one (1) more bush to satisfy the requirements for the retention pond.

Items to be Addressed: *The applicant shall provide one (1) more bush to satisfy retention pond landscaping requirements.*

LIGHTING

There is a note on Sheet 3 stating that three (3) wall pack light fixtures are being proposed on the west side of the building. They will be mounted at twelve (12) feet tall and have shields. The light shall not exceed no more than one (1) foot candle at the property line. Lighting shall be directed away and shielded from neighboring properties. A lighting plan was provided on Sheet 9 shows that lighting will trespass onto neighboring properties.

Items to be Addressed: *None.*

SIGNS

The applicant is proposing a sign on the south side of the building that faces Grand River according to Sheet A-211. No other details for the sign have been provided. Signs will require a separate permit from the Zoning Administrator. A sign application must be filed, and the Zoning Administrator will determine if the signs meet the requirements of the ordinance.

Items to be Addressed: *A sign application must be filed, and the Zoning Administrator will determine if the signs meet the requirements of the ordinance.*

TRASH ENCLOSURE

The applicant proposes a trash enclosure on the northwest corner of the parking lot. The enclosure is proposed to be six (6) feet tall with wood construction with a metal or aluminum cap on top with a minimum one (1) inch overlap.

Items to be Addressed: None.

FLOOR PLAN & BUILDING ELEVATIONS

Floor Plans are provided on Sheets A-111 and A-112, and elevations are provided on Sheets A-211 and A-211a. The main materials proposed are a black seam metal roof, black frame vinyl windows, gray metal siding, gray hollow metal door, and gray CMU at the base of the building.

The north elevation is proposed to have three (3) windows on the first floor. The east elevation is proposed to have three (3) person doors, and five (5) windows on the second floor. The south elevation, which faces Grand River, is proposed to have one (1) person door with a metal roof above it, three (3) windows for the first floor, and three (3) smaller windows for the second floor. The west elevation is proposed to have two (2) person doors with the one on the left having a metal roof above it, three (3) garage doors with the same widths, but the one (1) on the left has a different height, and two (2) windows on the first floor.

Items to be Addressed: None.

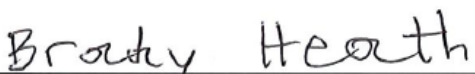
RECOMMENDATIONS

The preliminary site plan does not comply with the requirements set forth in the Zoning Ordinance. The following item(s) should be addressed prior to the Planning Commission taking action on the preliminary site plan:

1. The front yard setback shall be updated to fifty (50) feet in the zoning data listed on sheet 3.
2. The side yard setback shall be updated to eighty-eight point five (88.5) feet in the zoning data listed on sheet 3.
3. The applicant shall specify whether concrete or asphalt will be used.
4. The applicant shall provide one (1) more bush to satisfy retention pond landscaping requirements.
5. A sign application must be filed, and the Zoning Administrator will determine if the signs meet the requirements of the ordinance.

Please contact us with any questions or concerns.


CARLISLE/WORTMAN ASSOC., INC.
Paul Montagno, AICP
Principal


CARLISLE/WORTMAN ASSOC., INC.
Brady Heath
Community Planner

#PC-2026-03

cc: Joannathan Hohenstein, Township Zoning Administrator