

HOWELL TOWNSHIP PLANNING COMMISSION

REGULAR MEETING

3525 Byron Road
Howell, MI 48855
December 16, 2025
6:30 pm

1. Call to Order
2. Roll Call:

| | |
|--------------------------------------------------------|---------------------------------------|
| <input type="checkbox"/> Wayne Williams - Chair | <input type="checkbox"/> Matt Stanley |
| <input type="checkbox"/> Robert Spaulding – Vice Chair | <input type="checkbox"/> Sharon Lollo |
| <input type="checkbox"/> – Secretary | <input type="checkbox"/> Trent Holman |
| <input type="checkbox"/> Tim Boal – Board Rep. | |
3. Pledge of Allegiance
4. Approval of the Agenda:
Planning Commission Regular Meeting: December 16, 2025
5. Approval of the Minutes:
A. Regular Meeting November 18, 2025
6. Call to the Public:
7. Zoning Board of Appeals Report:
8. Township Board Report:
Draft Meeting Minutes November 20, 2025
9. Ordinance Violation Report:
10. Scheduled Public Hearings:
11. Other Matters to be Reviewed by the Planning Commission:
 - A. Draft Planning Commission Annual Report – 2025
 - B. County Planning Fall Summary
 - C. County Master Plan
 - D. Resignation of Mike Newstead
12. Business Items
 - A. Old Business:
 - B. New Business:
 1. Dakota Haslock, PC2025-22, 3590 W. Grand River Ave., Parcel # 4706-28-100-024, Preliminary Site Plan Review
 2. EV Go, PC2025-26, 1475 N. Burkhart Rd., Parcel # 4706-29-400-008, Amendment to Approved Site Plan
 3. Data Center Ordinance - Discussion
13. Call to the Public:
14. Adjournment

DRAFT

**HOWELL TOWNSHIP PLANNING COMMISSION
REGULAR MEETING MINUTES
3525 Byron Road Howell, MI 48855
November 18, 2025
6:30 P.M.**

MEMBERS PRESENT:

| | |
|------------------|----------------------|
| Wayne Williams | Chair |
| Robert Spaulding | Vice Chair |
| Mike Newstead | Secretary |
| Tim Boal | Board Representative |
| Matt Stanley | Commissioner |
| Sharon Lollo | Commissioner |

MEMBERS ABSENT:

ALSO IN ATTENDANCE:

Township Planner Brady Heath, Applicant William McCririe and Zoning Administrator Jonathan Hohenstein

Chairman Williams called the meeting to order at 6:30 pm. The roll was called. Chairman Williams requested members rise for the Pledge of Allegiance.

APPROVAL OF THE AGENDA:

Motion by Spaulding, **Second** by Boal, **“To approve.”** Motion carried.

APPROVAL OF THE MEETING MINUTES:

October 28, 2025

Motion by Stanley, **Second** by Spaulding, **“To approve.”** Motion carried.

CALL TO THE PUBLIC

Lauren Prevenda, 930 Gulley Rd- Spoke on Data Center moratorium

Kristin Dennison, 7196 Manor Ln- Spoke on Data Center moratorium

Mary Motto, 780 Henderson Rd- Spoke on Data Center moratorium

Charles Smith, 5136 Fleming Rd- Spoke on opposition to Data Center and moratorium

Maryann Barker, 8849 Antcliff- Spoke on Data Center moratorium

Mark Mannisto, 2330 Tooley Rd- Spoke on opposition to rezoning on Tooley Rd and opposition to Data Center

Breanne Green, 240 Penobscot- Spoke on appreciation of the Planning Commission Board

Michael Markley, 6383 Birch Meadow Ln- Spoke on opposition to Data Center

ZONING BOARD OF APPEALS REPORT:

None

TOWNSHIP BOARD REPORT:

Township Board meeting was rescheduled to Thursday November 20th.

ORDINANCE VIOLATION REPORT:

Report in packet. Vice Chair Spaulding questioned appeal process of 4141 W. Grand River for removing the house but leaving the barn and when the project including Justice Fence would be on the agenda for Planning Commission to review.

SCHEDULED PUBLIC HEARINGS:

- A. William McCririe, to Rezone vacant land on Tooley Rd, PC2025-24, Parcel # 4706-22-300-042 from Regional Service Commercial (RSC) to Industrial Flex Zone (IFZ). **Motion** by Newstead, **Second** by Boal, **“To open the public hearing.”** Motion carried. Applicant William McCririe spoke on rezoning both properties, preserving the house at 2050 Tooley if he is able to, as well as keeping some of the other stone structures on the property but eliminating the barn. He would like to do something with the property that would have less intense impactful use and lower traffic volume. Water retention, light pollution and buffers would be taken into consideration when applying for Site Plan approval. Vice Chair Spaulding spoke on conditional rezoning. Township Planner Heath gave an overview and answered questions on both properties and their potential rezoning is consistent with policies and uses of the Master Plan and Future Land Use Map. Chairman Williams questioned restrictions of what businesses can be put in Industrial Flex Zone with residents bordering those parcels. Planner Heath reviewed permitted uses for Industrial Flex Zone and Regional Service Residential. Discussion followed.

Matt Hall, 2071 Tooley Rd- Spoke on opposition to rezoning

Ray Noble, 2798 Popple Ln- Spoke on rezoning and concerns with the roads

Debbie Mannisto, 2330 Tooley Rd- Spoke on applicants lack of transparency

Ted Kempffer, 2634 Popple Ln- Spoke on opposition to rezoning

Tim Beaubien, 4408 Ellis Rd- Spoke on opposition to rezoning

Paul Johnson, 2750 Popple Ln- Spoke on opposition to rezoning

Chris Wetzal, 390 Natanna Dr- Spoke on opposition to rezoning

Maureen Heikkonen, 3356 Kneeland Circle- Spoke on living next to an Industrial Park and opposition to Rezoning

Connie Johnson, 2750 Popple Ln- Spoke on opposition to rezoning

Mike Williams, 2929 Popple Ln- Spoke on opposition to rezoning

Ellen Schwartz, 2071 Tooley Ln- Spoke on opposition to rezoning

Patty and George Londy, 2061 Tooley Rd- Spoke on opposition to rezoning

Kristin Dennison, 7196 Manor Ln- Spoke on opposition to rezoning

Charles Smith, 5136 Fleming Rd- Spoke on opposition to Data Center

Jennifer Kempffer, 2634 Popple Ln- Spoke on opposition to rezoning

Michelle Vecheta, 3252 Warner Rd- Spoke on opposition to rezoning

Dan Bonello, 3531 Warner Rd- Spoke on rezoning

Chairman Williams and Board Representative Boal abstained from voting due to conflicts of interest.

Motion by Spaulding, **Second** by Stanley, **“To close the public hearing.”** Motion carried.

ALL PUBLIC COMMENTS FROM EARLIER ARE INCORPORATED AS PART OF THE PUBLIC HEARING FOR THIS MATTER

- B. William McCririe, to Rezone 2050 Tooley Rd, PC2025-25, Parcel # 4706-22-300-003 from Agricultural Residential (AR) to Industrial Flex Zone (IFZ)- **Motion** by Spaulding, **Second** by Newstead, **“To open the public hearing for agenda item 10B to rezone 2050 Tooley Rd parcel 2025-25, or parcel 4706-22-300-003 from (AR) Agricultural Residential to Industrial Flex Zone.”** Motion carried.

Mark Mannisto, 2330 Tooley Rd- Spoke on opposition to rezoning

Ray Noble- Spoke on the farmhouse, water flow and screening of private properties

Charles Smith, 5136 Fleming Rd- Questioned the height of buildings allowed

Tim Beaubien, 4408 Fleming Rd - Spoke on rezoning

Motion by Newstead, **Second** by Spaulding, **“To close the public hearing for 10B.”** Motion carried. **Motion** by Spaulding, **Second** by Lollo, **“To approve the rezoning request for the applicant for PC2025-24 on parcel # 4706-22-300-042 from Regional Service Commercial to Industrial Flex Zone as well as Planning Commission 2025-25 Parcel 4706-22-300-003 from Agricultural Residential to Industrial Flex Zone.”** Motion denied 2-2.

OTHER MATTERS TO BE REVIEWED BY THE PLANNING COMMISSION:

Board Representative Boal requested discussion of the moratorium on Data Centers. Vice Chair Williams spoke on a six-month moratorium. Vice Chair Spaulding spoke regarding agenda procedures of the Planning Commission and Township Board. Discussion followed.

OLD BUSINESS:

None

NEW BUSINESS:

None

CALL TO THE PUBLIC:

Lauren Prebenda, 930 Gulley Rd- Spoke on moratorium for the Data Center

Charles Smith, 5136 Fleming Rd- Spoke on vacant 354-acre parcel on Fleming Rd. and opposition to Data Center

Alisa Recker, 7171 Manor Ln- Spoke on her letter of interest submitted to the Township to apply for the vacant Planning Commission seat

Maureen Heikkinen- Spoke on revision of the Township Master Plan

Cory Alchin, 800 Sleaford Rd - Spoke on opposition to Data Center and moratorium

ADJOURNMENT:

Motion by Newstead, **Second** by Stanley, **“To adjourn.”** Motion carried. The meeting was adjourned at 8:50 P.M.

Date

Mike Newstead
Planning Commission Secretary

Marnie Hebert
Recording Secretary

**HOWELL TOWNSHIP REGULAR BOARD
MEETING MINUTES**

1200 W. Grand River Ave, Howell, MI 48843

November 20, 2025

6:30 P.M.

MEMBERS PRESENT:

| | |
|---------------------|------------|
| Mike Coddington | Supervisor |
| Sue Daus | Clerk |
| Jonathan Hohenstein | Treasurer |
| Matthew Counts | Trustee |
| Tim Boal | Trustee |
| Shane Fagan | Trustee |
| Bob Wilson | Trustee |

MEMBERS ABSENT:

Also in Attendance:

Township attorneys Christopher Patterson and Sophia Youssif

524 people signed in.

Supervisor Coddington called the meeting to order at 6:30 p.m. The roll was called. Supervisor Coddington requested members rise for the Pledge of Allegiance.

CALL TO THE BOARD:

None

APPROVAL OF THE AGENDA:

November 20, 2025

Motion by Hohenstein, **Second** by Daus, **"To approve the agenda as presented."** Motion carried.

APPROVAL OF BOARD MEETING MINUTES:

October 14, 2025

REGULAR BOARD MEETING MINUTES

Motion by Hohenstein, **Second** by Counts, **"To accept the minutes from October 14th as presented."** Motion carried.

Data Center Moratorium Ordinance

Township attorney Christopher Patterson gave an overview on the proposed data center moratorium ordinance and answered questions from board members.

CALL TO THE PUBLIC:

Topics discussed: Moratorium language change, alternate location for development, lack of job creation, high utility bills, strain on the electricity infrastructure, Township Mstudy, Plan, community impact, rezoning, community vote, water and air pollution, natural resources, damage to wells, bond for well damage, local wildlife, community values, NDA's, drone ordinance, oath of office, community health, falsified certifications,

transparency, terrorism, farmland and rural land preservation, home values, environmental concerns, Township Board recall and resignations, tax breaks for data centers, impact study and economic analysis transparency, health risks, and concerns, digital weaponization, flooding, fire department, cyber security, hyperscale data center, closed loop water system, swamp coolers.

Public comments received by: Cory Alchin 800 Sleaford Rd, Bill Brancheau 4130 Rurik Dr., Oliver Shampine 309 N Lake, Mary Motto 780 Henderson, Charles Smith 5136 Fleming Rd., Don LeChevalier 2900 Brewer, Dan Wholihan 8162 Majestic Blvd., Rob Howard, Anne-Elise, Hughes Rd, Vanessa North 2950 W. Marr, Emma Sova 322 W. Washington, Jessica Kupfer 3575 Brighton Rd., Lauren Prebenda 930 Gulley Rd., Gina Lowe 5789 Preston Rd., Andrew Hamm 14 Santa Rosa Dr., Sheryl Morse 3259 Kneeland Cr., Kristin Dennison 7196 Manor Ln., Robert Patterson Handy Twp., Bernadette McAllister Milford, Tom Buman Warner Rd., Jacquelyn Peters 2035 Norton Rd., Evelyn Redwine 444 Inverness St., Gary Burtka, Don Bonello 3531 Warner Rd., Cassie Helton 2854 High Meadows Dr., Thomas Ranke Sargent Rd., Harold Wines 4400 w Grand River Ave., Victoria Alchin 800 Sleaford Rd., Angela Barbash 4211 Crandall Rd., Stephanie Booth City of Howell, Trisha Murphy Howell, Susan Klepinger Marion Twp., Allen Romain Owosso Rd., Alissa Recker 7171 Manor Ln., Debbie Mannisto 2330 Tooley Rd., Jodi Fulton 3528 Warner Rd., David Foreman 6126 Pheasant Ridge Dr., Ryan Feasal 5200 Autumn Kirsten Cir., Jessica Mace 1220 Weatherstone Ln., Jake Iovan 4300 Fleming Rd., Rich Allen Shiawassee County, Maggie Tenant 2578 Marr Rd., Mark Freude 3550 Byron Rd., Martin Kubiak Owosso Rd., Andrew Kimball 1039 E Davis Rd., Donald Atkins 2660 Bowen Rd., Sandy Bessert 3011 Fisher Rd., Magdalen Tonks 1405 Shire Ct., Christa Miner 1356 W. Marr Rd., Steve Smith Conway Twp., Micki, Krista Smith 2024 Oak Grove, Joy Dettling 2516 Curdy Rd., John Galopin Putnam Twp.

Motion by Boal, **Second** by Counts **“To move back to the Data Center Moratorium Ordinance.”** Motion carried.

Discussion followed. **Motion** by Boal, **“To enact the moratorium with the language that includes the rezoning at the same time.”** Motion failed due to no support. Discussion followed. **Motion** by Hohenstein, **Second** by Fagan, **“To support the moratorium as presented and set the current rezoning application for a public hearing on December 8th at the Township Board meeting so the community gets an answer and so does the applicant, and we will be treating every applicant the same.”** **“Amend motion to include ordinance No. 296.”** Roll call vote: Boal – yes, Counts – yes, Wilson – yes, Daus – yes, Fagan – yes, Hohenstein – yes, Coddington – yes.” Motion carried (7-0).

Motion by Counts, **Second** by Boal, **“To recess for 10 minutes.”** Motion carried.

Motion by Daus, **Second** by Counts, **“To reopen the meeting.”** Motion carried.

UNFINISHED BUSINESS:

A. Renewable Energy Ordinance and Overlay District

Motion by Hohenstein, **Second** by Boal, **“To accept Ordinance No. 297, zoning amendment to the Renewable Energy Facilities and Overlay District as presented.”** Roll call vote: Hohenstein – yes, Boal – yes, Counts – no, Wilson – no, Fagan – yes, Daus – yes, Coddington – yes. Motion carried (5-1).

B. Howell Twp. V. Fagan

Informational and added to the packet for the Board’s review.

NEW BUSINESS:

- C. 2026 Water Connection Fee
2026 Sewer Connection Fee
Motion by Boal, **Second** by Counts, **“Resolution 11.25.558 and 11.25.559 as 0% increase for the following year.”** Roll call vote: Daus – yes, Counts – yes, Wilson – yes, Fagan – yes, Boal – yes, Hohenstein – yes, Coddington – yes. Motion carried (7-0).
- D. 2026 Meeting Dates
Treasurer Hohenstein discussed that the 2026 meeting dates need to be set by resolution.
Motion by Counts, **Second** by Hohenstein, **“To accept resolution 11.25.260.”** Roll call vote: Hohenstein – yes, Fagan – yes, Boal – yes, Counts – yes, Daus – yes, Wilson – yes, Coddington – yes. Motion carried (7-0).
- E. FOIA Appeal Determination – Ben Gresko
Township attorney Patterson discussed the processes and fee calculations that are involved with processing FOIA requests and the appeal process. **Motion** by Hohenstein, **Second** by Fagan, **“To adopt the Township attorney’s recommendation as to Mr. Gresko’s FOIA appeal and to authorize the Supervisor to sign the appeal determination and related certification for the Township”** Motion carried.
- F. Planning Commission Appointment to Open Seat
Supervisor Coddington invited members applying for the Planning Commission seat to stand and introduce themselves. Maureen Heikkinen introduced herself. Alissa Recker introduced herself. Aaren Currie introduced himself. Dan Bonello introduced himself. Trent Holman introduced himself. **Motion** by Hohenstein, **Second** by Boal, **“To accept the Supervisors appointment of Trent Holman to the vacant Planning Commission seat, term ending 12-31-27.”** Motion carried, two dissents.

CALL TO THE PUBLIC:

Public comments received by: Oliver Shampine, Spring Lake: Jennifer Provencal, 245 Foxfire Dr.: Kristin Dennison, 7196 Manor Ln.: Dan Wholihan, 8162 Majestic Blvd.: Jason Monteer, 3450 Amber Oaks Dr.: Maggie Tonks, 1405 Shire Ct. Topics discussed: opposition to the data center, Planning Commission appointment, and Wrangler’s Saloon.

REPORTS:

- A. SUPERVISOR:
Supervisor Coddington discussed signing an NDA and having the NDAs rescinded
- B. TREASURER:
See Treasurer Hohenstein’s report. Discussion followed
- C. CLERK:
Clerk Daus reported that the Clerk’s department has been inundated working on FOIA requests
- D. ZONING:
See Zoning Administrator Hohenstein’s report. Discussion followed

E. ASSESSING:

See Assessor Kilpela's report

F. FIRE AUTHORITY:

Supervisor Coddington reported on Fire Authority

G. MHOG:

Trustee Counts reported on MHOG

H. PLANNING COMMISSION:

Trustee Boal reported on Planning Commission. See draft minutes.

Resident Research Advisory Committee – a resident lead advisory group established to gather, analyze and present information relevant to ordinances and regulations and relay it to the Planning Commission for further review.

I. ZONING BOARD OF APPEALS (ZBA):

No report

J. WWTP:

BioTech Agronomics contract is due for renewal. **Motion** by Hohenstein, **Second** by Daus, **"To accept the agreement with BioTech Agronomics for 3 years as presented."** Motion carried.

K. HAPRA:

See report

L. PROPERTY COMMITTEE:

No report

M. PARK & RECREATION COMMITTEE:

See report

N. Shiawassee River Committee:

No report

DISBURSEMENTS: REGULAR PAYMENTS AND CHECK REGISTER:

Motion by Hohenstein, **Second** by Counts, **"To accept the disbursements as presented and any normal and customary payments for the month."** Motion carried.

ADJOURNMENT:

Motion by Counts, **Second** by Daus, **"To adjourn"** Motion carried. The meeting was adjourned at 11:17 p.m.

Sue Daus, Howell Township Clerk

Mike Coddington, Howell Township Supervisor

Tanya Davidson, Recording Secretary

DRAFT

Monthly Permit List

12/02/2025

1/2

Commercial Land Use

| Permit # | Applicant | Address | Fee Total | Const. Value |
|------------------------------------------------|----------------|----------------------------|-----------|--------------|
| P25-242 | CARLOS JIMENEZ | 1475 N BURKHART RD # G-165 | \$50.00 | \$0.00 |
| Work Description: Interactive paint/art studio | | | | |

| | |
|------------------------------|---------|
| Total Permits For Type: | 1 |
| Total Fees For Type: | \$50.00 |
| Total Const. Value For Type: | \$0.00 |

Residential Land Use

| Permit # | Applicant | Address | Fee Total | Const. Value |
|------------------------------------------------------------------------------------------------------------------|------------------------------|--------------------|-----------|--------------|
| P25-247 | GREEN SHIELD HOME LLC | 3700 AMBER OAKS DR | \$50.00 | \$0.00 |
| Work Description: Install 29.5' x 18 ledgered composite deck at 2'6 above grade (434sf) with prefab 12X16 gazebo | | | | |
| P25-241 | PENNALA TIGE AND MARAH | 5788 BYRON RD | \$75.00 | \$0.00 |
| Work Description: 30 X 40 Pole Barn- Cold storage, no power or water. Gravel floor. | | | | |
| P25-246 | JASON OCHA | 2740 FISHER RD | \$10.00 | \$0.00 |
| Work Description: Cleaning edge of pond | | | | |
| P25-245 | FOX JEFFREY | 5235 FISHER RD | \$75.00 | \$0.00 |
| Work Description: 30' X 50' pole barn/garage | | | | |
| P25-240 | COMFORT LIVING HOMES | 1031 RIVER LINE DR | \$75.00 | \$0.00 |
| Work Description: Cosmetically attached 24' X 24' garage to existing manufactured home | | | | |
| P25-239 | COMFORT LIVING HOMES | 1035 RIVER LINE DR | \$75.00 | \$0.00 |
| Work Description: Cosmetically attached 24' X 24' garage to existing manufactured home | | | | |
| P25-244 | TRADEMARK BUILDING SOLUTIONS | 4471 WYNNWOOD DR | \$10.00 | \$0.00 |
| Work Description: Fiberglass shingle removal and replacement | | | | |

| | |
|------------------------------|----------|
| Total Permits For Type: | 7 |
| Total Fees For Type: | \$370.00 |
| Total Const. Value For Type: | \$0.00 |

Sign

| Permit # | Applicant | Address | Fee Total | Const. Value |
|-------------------------------------------------------------------------------------------------------------|-----------------------|----------------|-----------|--------------|
| P25-243 | FASTSIGNS OF BRIGHTON | 1194 AUSTIN CT | \$175.00 | \$0.00 |
| Work Description: Double sided post and panel sign, 6' x 4' face to be buried 24" below ground with cement. | | | | |

| | | |
|------------------------------|--|----------|
| Total Permits For Type: | | 1 |
| Total Fees For Type: | | \$175.00 |
| Total Const. Value For Type: | | \$0.00 |
| Grand Total Fees: | | \$595.00 |
| Grand Total Permits: | | 9.00 |

Code Enforcement List

12/02/2025

| Address | Owners Name | Parcel Number | Date Filed | Origin | Status |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|-----------------|------------|----------------|-------------------------|
| 5704 CRANDALL RD Complaint | JEWETT RICHARD L & | 4706-05-200-004 | 11/25/2024 | PUBLIC - EMAIL | OPEN - COMPLANT RECEIVE |
| A person is living in an RV in the back of the property against Township Ordinance. | | | | | |
| Comments | | | | | |
| 12.10.24 - Site visit completed. RV is located in the back of the property. Letter sent to owner. | | | | | |
| 1.27.25 - Site visit completed. No visible change. Letter sent to owner. | | | | | |
| 2.11.25 - Requested additional information from complainant | | | | | |
| 3.10.25 - January letter returned unclaimed. | | | | | |
| 3.11.25 - December letter returned unclaimed. | | | | | |
| 3.31.25 - Site visit completed. New letter mailed out. | | | | | |
| 4.7.25 - Copy of letter given to homeowner. Spoke to homeowner - admitted that someone is living in the RV. Follow up letter sent to owner. | | | | | |
| 4.14.25 - Spoke to homeowner on the phone. Spoke to Jake at LCHD on the phone, they received a complaint about sewage being discharged onto the ground from one of the RVs. Spoke to person staying in the RV (Wes Gray) on the phone. Jake from LCHD and I made a visit to the site, spoke to Wes. Wes understands that he cannot live in an RV on the property. We agreed to 30 days to remove his things from the site. | | | | | |
| 4.30.25 - Site visit completed, Wes appears to be working on getting his things removed. | | | | | |
| 5.14.25 - Spoke to the homeowner, Wes moved some things but has started building a new trailer. Owner will call the Sheriff's Department to understand her options to get Wes removed from her property. | | | | | |
| 5.19.25 - Spoke to Wes, he has removed a lot of stuff but would like until June 1, 2025 to remove the rest of his stuff. He will provide receipts for the dumpster that he used. Twp will make a site visit and confirm that progress has been made. If progress has been made then we are willing to extend deadline to June 1. | | | | | |
| 5.19.25 - Site visit completed, some clean up has taken place, photos attached. Spoke to homeowner, admits a lot of work has been done and has no issue with Wes's request to extend deadline to June 1. Letter sent to owner to confirm same. | | | | | |
| 06-02-25- MH- Spoke with Wes and he doesn't have any where to go, fractured his hand and hurt his back moving stuff off the property. He is still trying to move stuff off the property. Jonathan is out of the office so I let him know he would be contacted when he returns. | | | | | |
| 6.12.25 - Spoke to Wes, said he has hurt his hand but still intends to remove his things from the property. We agreed to an extension to July 31st for all things to be removed from the property, no further extensions will be granted for any reason. Will prepare letter to owners RE same. | | | | | |
| 6.16.25 - Site visit completed, some changes have been made, photos attached. | | | | | |
| 7.21.25 - Site visit completed, photos attached. | | | | | |
| 8.4.25 - Site visit completed, Wes has not removed his belongings from the property, still living in the RV. Spoke to owner. Personally issued MCI Citation ticket #0162 to Denise Stach. Personally issued MCI Citation ticket #0163 to Wes Gray. | | | | | |
| 8.16.25 - Denise Stach paid ticket #0162 at court | | | | | |
| 9.9.25 - Wes Gray has requested a formal hearing. | | | | | |
| 10/2/25 - Stopped to speak with home-owner ref upcoming court date and take updated photos. Mrs Stach stated she is willing to go to court. Photos taken. | | | | | |
| 10.20.25 - Court hearing started, adjourned to a later date. Working with Wes Gray on settlement. | | | | | |
| 11.6.25 - Wes Gray signed agreement for consent judgment. Case has been closed. | | | | | |

Code Enforcement List

12/02/2025

| Address | Owners Name | Parcel Number | Date Filed | Origin | Status |
|----------------------------------------------------|------------------|-----------------|------------|--------|-------------------------|
| 4141 W GRAND RIVER A Complaint | TONON CHIARINA S | 4706-20-400-012 | 09/24/2024 | | OPEN - COMPLANT RECEIVE |
| House is neglected, building unsafe, junk in yard. | | | | | |

Comments

9.24.24 - Contacted Livingston County Building Department RE performing dangerous building inspection.
10.3.24 - Received LCBD determination letter. Contacted Spicer RE Dangerous Buildings Hearing Officer availability. Spicer does not currently have availability to perform these duties.
10.17.24 - Letter sent to owner.
12.19.24 - No response received. Second letter sent to owner with tracking.
1.9.25 - Spoke to owner, is getting quotes from companies to demolish the structures. Provided contact information to Township and will stay in touch with progress reports.
1.27.25 - Violation still present.
3.31.25 - Site visit completed, violation still present, no visible change
4.30.25 - Site visit completed, violation still present, no visible change, will reach out to owners
5.7.25 - Left message for owner
5.9.25 - Received voicemail from owner, they are currently working through asbestos testing, getting the site taken care of in 4-6 weeks
5.14.25 - Spoke to the company that will be performing the demolition and discussed the permitting process
6.16.25 - Site visit completed, no change
8.6.25 - Demolition permit application received.
9.9.25 - Email received, expect to get started with demolition at the end of September.
9.18.25 - Demolition permit acquired and escrow money provided
9/23/25 - Property has been mowed, debris from front of structure appears to be gone.
10.21.25 - Property owner now wants to remove only the house and leave the barn. This would create a violation of the Township's Ordinance. Zoning determination letter requested and provided to owners. Owners will have 60 days to appeal the determination to the ZBA. Project on hold while owners decide to either demolish both the house and barn or challenge the determination.

Code Enforcement List

12/02/2025

| Address | Owners Name | Parcel Number | Date Filed | Origin | Status |
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| 3590 W GRAND RIVER Complaint Zoning Violations:Outdoor storage without screening, setback issues, parking not hard surfaced, no sign permit. | HASLOCK PROPERTIE | 4706-28-100-024 | 05/06/2024 | | OPEN - FIRST LETTER SENT |
| Comments 5.13.24 - Violation letter to Occupant returned. 5.20.24 - Received phone call from owner. Will be preparing a site plan to take before the Planning Commission for approval. 6.20.24 - Received phone call from owner, discussed site plan requirements. 9.4.24 - Sent letter to owner RE site plan progress. 9.12.24 - Spoke to owner, Engineer has site plans almost complete. Will submit for review in the near future. 2.27.25 - Spoke to owner, Engineer will be submitting plans in the next week or two. 3.31.25 - Site visit completed, violations still present 4.30.25 - Site visit completed, violations still present 5.1.25 - Property owner turned in site plan. Currently considering if they would like to schedule a pre-conference prior to formally submitting the site plan. 6.9.25 - Spoke to the owner about next steps to move the site plan forward, owner is considering pairing down what has been proposed. 6.16.25 - Site visit completed, photos attached. 7.21.25 - Site visit completed, photos attached. 8.11.25 - Owner stopped in to discuss the site plan, will get the site plans printed out and submitted for review. 9.10.25 - Owner dropped off site plan and application, sent out for outside review, expected to be on October PC agenda 10.29.25 - Met with owner and engineer to discuss revisions to site plan requested by Township's Engineer and Planner. They will update the plan and resubmit for review. | | | | | |
| 5057 WARNER RD Complaint LARGE AMOUNT OF JUNK AND LITTER IN THE YARD. | HARTER EDWARD H | 4706-19-200-005 | 03/14/2022 | PUBLIC/ EMAIL | OPEN - SECOND LETTER SEN |
| Comments 4.17.2023 THERE IS MORE JUNK NOW THEN THERE WAS LAST MARCH OF 2022 OR JANUARY OF 2023. 5.25.2023 I SPOKE WITH MR. HARTER HE IS STARTING TO CLEAN THE SITE UP, HE SAID THAT IT WILL TAKE SOME TIME TO GET IT ALL CLEANED UP. I WILL BEE CHECKING ON HIS PROGRESS EVERY FEW WEEKS TO MAKE SURE HE IS MAKING PROGRESS. 6.29.2023 SOME PROGRESS HAS BEEN MADE. WILL CHECK BACK IN A COUPLE OF WEEKS. 1.9.2024 did a site vist there has been no progress made on the clean up. 1.11.2024 Finial letter sent. 3.20.24 - Site visit. No remediation of issues has taken place. Photos attached. 3.25.24 Spoke to owner. Owner is working on cleaning up the property, has dumpsters being delivered, scrap is in piles and ready to be taken to the scrap yard. Has requested 3 months to get the property cleaned up. Letter sent in confirmation of agreement. Scheduled visit for June 25th. | | | | | |

Code Enforcement List

12/02/2025

| Address | Owners Name | Parcel Number | Date Filed | Origin | Status |
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| <p>4.23.24 - Site visit. Violation still present. Scheduled reinspection.</p> <p>5.20.24 - Site visit. Work has been started. Violation still present. Scheduled reinspection.</p> <p>6.18.24 - Site visit. Violation still present, no evidence of continued clean up activity. Will reinspect on June 25th as agreed.</p> <p>6.25.24 - Site visit. Minimal changes to site, violation still present. Letter sent to owner.</p> <p>8.1.24 - Site visit completed. Owner still working on clean-up.</p> <p>9.4.24 - Site visit completed, spoke to homeowner. Owner claims to have back of property nearly complete. Dumpster to be arriving next week, neighbors helping to remove scrap in the next few days.</p> <p>10.8.24 - Site visit completed. No evidence of activity. Final violation letter sent to owner.</p> <p>11.6.24 - Site visit completed. No evidence of activity. Will check property on 11.14.24 per letter.</p> <p>11.14.24 - Site visit completed. No evidence of activity. Ticket number 0204 issued. Ticket mailed to homeowner 11.18.24.</p> <p>12.4.24 - Spoke to homeowner. He will be completing a clean-up schedule and providing it to the Township. If the schedule is followed and clean-up of property is achieved ticket will be waived.</p> <p>12.10.24 - Schedule has not been provided to Township. Site visit completed, no change.</p> <p>1.27.25 - Site visit completed, no change. Schedule has not been provided to Township. Final violation letter sent to owner.</p> <p>2.3.25 - Received phone call from owner's wife, owner is currently in jail. By February 24th they will contact the Township to discuss deadlines for removing the junk from the site. Letter sent to owner to confirm same.</p> <p>2.24.25 - Spoke to owner's wife.</p> <p>2.28.25 - Spoke to owner's wife, came to agreement on clean up schedule. Letter on agreement sent to owner.</p> <p>3.17.25 - 2.28 letter returned. Mailed out letter again.</p> <p>3.21.25 - Homeowner left message stating that all scrap metal has been removed, two vehicles will be removed this week. We may stop by any time to see the progress.</p> <p>3.31.25 - Site visit completed, violation still present</p> <p>4.30.25 - Site visit completed, violation still present. May 4th is the clean-up deadline, will make site visit Monday May 5th to check status.</p> <p>5.7.25 - Site visit completed, violation still present. Posted ticket #0159 to the structure, filed ticket with the District Court and requested an informal hearing, mailed copy of ticket to owner.</p> <p>5.19.25 - Received information from District Court setting formal hearing date. Contacted the court to switch to an informal hearing as originally requested.</p> <p>6.10.25 - Called Court RE informal hearing date, Court's system indicated that the ticket had been paid and closed.</p> <p>6.16.25 - Site visit completed, no apparent change, photos attached. Ticket filed with Court - requested informal hearing, ticket posted to structure and mailed to owner.</p> <p>7.16.25 - Magistrate refused to hear the case, claimed he did not have the authority for injunctive relief, ticket dismissed.</p> <p>7.21.25 - Site visit completed, no apparent change, photos attached. Ticket 0161 filed with the Court requesting formal hearing. Ticket posted to structure and mailed to owner.</p> <p>7.29.25 - Formal Court hearing scheduled.</p> <p>9.8.25 - Formal hearing held, Judge Bain granted 45-day limit to get site cleaned up, indicated that he would drive by the property, follow-up hearing scheduled by Judge.</p> <p>10.20.25 - Court status hearing held. Next hearing scheduled for November.</p> <p>11.10.25 - Site visit made, photos attached. Progress has been made, violations still exist. Court hearing held, Judge ordered follow up hearing in December.</p> | | | | | |

Records: 4

Population: All Records

Howell Township Planning Commission 2025 Annual Report

Introduction

The Howell Township Planning Commission is the body responsible for providing planning and zoning recommendations to the Township Board. The Michigan Planning Enabling Act requires that “A Planning Commission shall make an annual written report to the legislative body concerning its operations and the status of planning activities, including recommendations regarding actions by the legislative body related to planning and development.”

The annual report of the Planning Commission increases information sharing between staff, boards, commissions, and the governing body. The report details and allows for greater anticipation of upcoming issues and priorities, providing for improved preparation and budgeting as necessary.

This report was prepared by the Howell Township Zoning Administrator.

Membership

| Planning Commission | Term Expiration |
|--------------------------------------------------------|-----------------|
| Wayne Williams, Chair | 12.31.2027 |
| Robert Spaulding, Vice Chair | 12.31.2026 |
| Mike Newstead, Secretary – Resigned 12.3.25 | 12.31.2027 |
| Open Seat | 12.31.2027 |
| Tim Boal, Board Rep. | 11.20.2028 |
| Sharon Lollo | 12.31.2026 |
| Matt Stanley | 12.31.2026 |
| Chuck Frantjeskos – Resigned 10.5.25 | |
| Trent Holman | 12.31.2027 |
| Shane Fagan – Board Rep. Alternate – Appointed 12.9.24 | 11.20.2028 |
| | |
| | |

Planning Commission Meetings

The Michigan Planning Enabling Act requires that a Planning Commission meet at least 4 times annually. The Planning Commission met 14 times on the following dates, meeting the requirements of the MPEA.

| | | |
|-------------|-------------------------------|-----------------------------|
| January 28 | February 11 – Special Meeting | February 25 |
| March 25 | April 22 | May 27 |
| June 24 | July 22 | August 12 - Special Meeting |
| August 26 | September 23 | October 28 |
| November 18 | December 16 | |

2025 Howell Township Planning Commission Annual Report

Zoning Ordinance Text Amendments and Rezoning Requests

| Amendment Topic | Adoption date |
|---------------------------------------------------------------------------------------------------------------------------------------------------|---------------|
| Renewable Energy Ordinance/Overlay District. Discussed: 2024: April 2 2025: Jan. 28, Feb. 25, March 25, April 22, June 24, July 22, Aug. 26 | November 20 |
| ADU Ordinance. Discussed: 2024: April 2, May 28, June 25, Sept. 5, Oct. 22, Nov. 19, Dec. 17 2025: Jan. 28, March 25, April 22, June 24 | July 14 |
| Storage Container Ordinance. Discussed: April 2, April 23, May 28, June 25, Sept. 5, Oct. 22, Nov. 19, June 24, July 22, Aug. 26 | November 19 |
| Rezoning request from I to IFZ – Outside Storage | March 3 |
| Modify approved PUD – Heritage Square | March 3 |
| Rezoning request from SFR to AR - Seyburn | June 9 |
| NSC Zoning District – Text Amendment – Bergman and Parks | July 14 |
| Rezoning request from RSC to I – SC Develop LLC -Request withdrawn by applicant | |
| Rezoning request for various parcels from AR, SFR, NSC to RT – Stantec/Randee LLC - Request withdrawn by applicant | |
| Text Amendment – Define Data Processing – Stantec/Randee LLC – Request withdrawn by applicant | |
| Rezoning request from RSC to IFZ – William McCririe | |
| Rezoning request from AR to IFZ – William McCririe | |

Development Reviews

| Project type | Location | Description | Status | Date of action |
|-----------------------|--------------------------------|-------------------------------------|--------------------------|----------------|
| PUD Modification | 4706-32-400-013 | Heritage Square – M/I Homes | Approved with conditions | February 11 |
| Preliminary Site Plan | 4640 W. Grand River Ave. | Leppek Landscaping Company | Approved with conditions | February 25 |
| Preliminary Site Plan | 4706-27-300-030 Vacant Land | Mitch Harris – Multi-Family Housing | Postponed | March 25 |
| Final Site Plan | 4640 W. Grand River Ave. | Leppek Landscaping Company | Approved with Conditions | April 22 |

2025 Howell Township Planning Commission Annual Report

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|----------------------------------------------------|----------------------|--------------------------------------------------------------|-------------------------------|--------------|
| Preliminary Site Plan | 4706-28-400-012 | Agape City Church | Approved with conditions | April 22 |
| Preliminary Site Plan | 4706-28-100-071 | Outside Storage – Mark Juett | Postponed | April 22 |
| Special Land Use Request and Preliminary Site Plan | 4706-28-100-071 | Outside Storage – Mark Juett: to allow storage of RVs onsite | Both approved with conditions | May 27 |
| Final Site Plan | 4706-28-400-012 | Agape City Church | Approved | May 27 |
| Preliminary Site Plan | 4706-27-300-030 | Mitch Harris – Multi-Family Housing | Approved with Conditions | May 27 |
| Final Site Plan | 4706-27-300-030 | Mitch Harris – Multi-Family Housing | Approved with Conditions | July 22 |
| Special Land Use Request | 4706-07-400-005 | Luke Bryan/Row Crop LLC outdoor concert | Approved with Conditions | August 12 |
| Final Site Plan | 4706-28-100-071 | Outside Storage – Mark Juett | Approved with Conditions | August 26 |
| Preliminary Site Plan | 4706-21-100-050 | Ghraib Real Estate Holdings | Approved with Conditions | August 26 |
| Temporary Use Request | 1800 N. Burkhart Rd. | Guided Mission Investments – Castaway Café | Approved with Conditions | August 26 |
| Amendment to Approved Site Plan | 4706-25-100-028 | Annex Group – Union at Oak Grove | Postponed | September 23 |

2025 Howell Township Planning Commission Annual Report

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|---------------------------------|-----------------|----------------------------------|--------------------------|------------|
| Amendment to Approved Site Plan | 4706-25-100-028 | Annex Group – Union at Oak Grove | Approved with Conditions | October 28 |
|---------------------------------|-----------------|----------------------------------|--------------------------|------------|

Priorities and Moving Forward

The Zoning Department reviewed all of the fees charged as directed by the Township's fee schedule versus the costs associated with each request. The three categories that cost the Township more than was collected are: Temporary Uses, Special Uses, and Amendments to Approved Site Plans. The Planning Commission should review the table below and discuss if a recommendation to the Township Board to adjust the fee schedule is necessary.

| Type | Current Fee | Cost to Township |
|-------------------------|-------------|------------------|
| Temporary Uses | \$300 | \$347 |
| Special Uses | \$750 | \$2,217 |
| Amendments to Site Plan | \$350 | \$597 |

At-a-Glance

Planning Commission Summary

September, October, November



Conway Township: September (1): Discussed: The Ranger Power/Headland Solar Project.

Recommended Approval with Conditions: For a Conditional rezoning from Agricultural to Light Industrial for Elm Street Wholesale a business that acquires bulk or large items on pallets and sells the items. Located at: 7398 Hayner Rd., Fowlerville. (4701-14-200-005 and 4701-14-200-006). [Township Board Approved the Conditional Rezoning in November]

Discussed: Master Plan Update.

September (2): Recommended Approval with Conditions: Special use permit for Ranger Power/Headland Solar LLC. for a utility-scale solar energy facility. Approximately 1300 acres and extends into Cohoctah Township. [Township Board Approved with Conditions in September]

October: Discussed: Ranger Power/Headland Solar Project. Discussed: Township Master Plan Update Discussed: Elm Street Rezoning. Discussed: Essential Services Ordinance. Discussed: Airport camping and set public hearing for airport re-zoning.

November: Recommended Approval: For the proposed Aircraft Camping and Accessory Use Ordinance. Discussed: The Essential Services Ordinance. Discussed: Master Plan Update and Future Land Use Map.

Cohoctah Township: September (1): Discussed: The Ranger Power/Headland Solar LLC Special Land Use Application and the sound study done by DESRI.

September (2): Recommended Approval with Conditions: Special use permit for Ranger Power/Headland Solar LLC. for a utility-scale solar energy facility. Approximately 1300 acres and extends into Conway Township. [Township Board Approved with Conditions in September]

Cohoctah Township continued:

October: Public Hearing: Township Master Plan

Approved with Conditions: Land use permit for a resident to complete an addition to a dwelling located off Cohoctah Rd.

Tabled: Land use permit for a residential roof mount solar system to allow a resident to address questions from the Planning Commission.

Discussed: The proposed Moratorium Ordinance and set public hearing for November meeting.

Discussed: The proposed Data Center and Cryptocurrency Data Mining Ordinance.

November: Recommended Approval: For the proposed Moratorium Ordinance.

Handy Township: September: Discussed: possible zoning text amendments.

October: No Meeting

November: No Meeting

Howell Township: September: Recommended Approval with Conditions: A rezoning from Regional Service Commercial (RSC) to Industrial (I). Located on a 11.64 acre parcel at off Durfee Dr. Near M-59 and Grand River Ave. (4706-28-400-016).

Recommended to Deny: Conditional rezoning request to rezone 19 parcels (approximately 1000 acres) from Agricultural Residential, Single Family Residential, or Neighborhood Service Commercial to Research and Technology; to allow for a large data center located on both the north and south sides of W. Grand River Ave. between Owosso and Fleming Rds. [Township Board to consider rezoning December 8, 2025]

At-a-Glance

Planning Commission Summary

September, October, November



Howell Township continued:

Recommended to Deny: Zoning ordinance text amendment to add 'Data Processing' as a definition to the Zoning Ordinance.

[Township Board to consider text amendment December 8, 2025]

Tabled: Site plan amendment to add a disc golf practice area instead of a tot lot playground. Located at: An apartment complex north of M-59 off Oak Grove (4706-25-100-028).

Approved: Pirate's Cove Self Storage-request for extension on a previously approved site plan.

October: Approved: Site plan amendment to add a disc golf practice area instead of a tot lot playground. Located at: An apartment complex north of M-59 off Oak Grove (4706-25-100-028).

Discussed: The Data Center Committee

November: Recommended to Deny: Rezoning of 7 acres from Regional Services Commercial (RSC) to Industrial Flex Zone (IFZ) . Located on a vacant parcel on the corner of Tooley Rd. and Popple Ln. (4706-22-300-042).

Recommended to Deny: Rezoning of 10 acres from Agricultural (AR) to Industrial Flex Zone (IFZ). Located directly south of the parcel above parcel at: 5050 Tooley Rd, Howell. (4706-22-300-003).

Village of Fowlerville: September: Discussed:

A sample Accessory Solar Energy Systems Ordinance. Discussed: Non-residential design requirements to incorporate architectural quality and promote community cohesion.

Set public hearing for November meeting.

Discussed: Sign Ordinance.

Recommended Approval: Zoning text amendment for fences, walls, and screens.

Recommended Approval: Zoning text amendment for supplementary dwelling regulations.

Village of Fowlerville continued:

October: Discussed: Text amendment for non-residential design standards to promote architectural quality and community cohesion requirements. Reviewed: Accessory Solar Energy Systems Ordinance.

Discussed: Sign Ordinance to review standards for wall signs. Discussed: The performance bond requirements (Ordinance No. 346, Section 2411).

November: Reviewed: Text amendment for non-residential design standards to promote architectural quality and community cohesion requirements. Discussed: Accessory Solar Energy Systems Ordinance. Reviewed: Sign Ordinance to review standards for wall signs. Discussed: The performance bond requirements (Ordinance No. 346, Section 2411).

Deerfield Township: *September:* No Meeting
October: No Meeting *November:* No Meeting

Tyrone Township: *September: Discussed:* Michigan Medical Marihuana Act (MMMA) Caregiver Regulations. Discussed: Accessory structure regulations. Approved: Minor site plan amendment for a self-storage located off Old US-23 north of Dean Rd.

Approved: Minor site plan amendment to include a 50 by 50 foot multi-use patio, to be used for pickleball and baseball; for Liberty House Recovery Center. Located at: 13520 White Lake Rd. (4704-13-200-019).

October: Discussed: Michigan Medical Marihuana Act and Caregiver Regulations.

Discussed: Accessory Structure Regulations. Discussed: Ore Creek Dreams Private Rd off Dean Rd near Lake Shannon to access a proposed 11 parcels.

November: Recommended Approval: Ore Creek Dreams Private Rd off of Dean Rd near Lake Shannon to access a proposed 11 parcels. Located on two parcels: 4704-19-100-020 and 4704-19-400-001.

At-a-Glance

Planning Commission Summary

September, October, November



Tyrone Township continued:

Recommended Approval: Regarding proposed amendments to Zoning Ordinance #36, Section 21.55, Medical Marijuana Caregiver Operations.

Discussed: Accessory structure regulations.

Oceola Township: September: Approved: Special use and site plan for a accessory buildings in the front yard. Located at: 2218 Curdy Rd (4707-18-100-003).

Reviewed: Zoning ordinance amendment to revise site plan requirements for Special Land Use applications and add Waste Receptacles and Management Requirements to the General Provisions section. Set public hearing for October meeting.

October: Recommended Approval: For the following amendments to the Zoning Ordinance:

- Section 15.02 Procedures For Making An Application.
- Section 16.11 Sketch Plan Review Standards
- Article 12 General Provisions, Waste Receptacles and Management.

Discussed: Zoning Ordinance Amendments:

- Article 15 Special Permits
- Site Plan Approval: Article 16 Site Plan Approval

Approved: Special use renewal to allow for concrete business; for Goodsell Concrete LLC. Located at: 4868 E. Clyde Rd. (4707-09-200-008).

Approved: Special use renewal to allow outdoor storage, retail sales of permitted and prohibited items and deer processing. For Great Lakes Custom Meats and More, LLC. Located at: 5642 E. Highland Rd. (4707-27-200-013).

Oceola Township continued:

Approved: Special use to allow for open storage of retaining wall supplies and material. Redi Wall, LLC. Located at: 5700 E. Highland Rd. (4707-27-200-014).

Recommended Approval: Site plan for Redi Wall, LLC. Located at: 5700 E. Highland Rd. (4707-27-200-014).

November: Recommended Approval: Site plan for a building extension and parking lot modifications for the Howell Area Fire Station No. 22. Located at: 1579 Latson Rd, Howell (4707-29-200-013).

Approved with Conditions: To add back lighting and low landscaping to a sign permit request for Avenue Apartments. Located at: 1899 Cape Lane, Howell (4707-28-100-021).

City of Howell: September: No Meeting

October: Postponed Action: Site plan and special land use for a gas station (WOW Marketplace). Located at: 1002 E Grand River Ave. (Previously the Rite Aid Pharmacy).

Postponed Action: Special use permit for a recreational center called Paw Grounds; for dogs and their owners with a coffee shop tavern. Located at: 120 West Highland Rd. Ste 100. Near Kroger previously the La Casa Collection location.

Approved: Site plan amendment for Country Glen to add a variety of site improvements including: enclosed parking spaces and a maintenance garage, dog park, bocce ball court, wood pavilions, concrete patios, garden area, dumpster enclosure, and landscaping islands. Located at 600 Warbler Way, Howell. near Fowler St.

October Special Meeting: Approved with Conditions: Site plan for Consumers Energy. The proposal includes the demolition of existing gas regulation structures and the installation of a new 12' x 17' building. Located at: 211 Prospect, Howell.

November: No Meeting

At-a-Glance

Planning Commission Summary

September, October, November



Hartland Township: September (1):

Recommended Approval: Final site plan for Urban Air Planned Development. Located south of M-59 off Old US-23. (4708-28-100-030 and 4708-28-100-037). [Township Approved in September]

Approved: Site plan application for a private shared driveways Located at: JR Foldenauer Farms (4708-31-300-022).

September (2): Approved: Site plan to construct a pavilion and update landscaping for the plaza at Cromaine Library, located at: 3688 N. Hartland Rd.

October: Reviewed: Site plan for private shared driveway off Tipsico Lake Rd.

November: Work Session: To discuss Accessory Dwelling ordinance.

Iosco Township: September: Recommended Approval: Article 8: Signs Ordinance amendments. [Approved by Township Board in November]. Discussed: Master Plan review status. Discussed: C-1, Industrial Wholesale allowance inquiry/request status. Located at: 5901 Weller Rd.

October: Discussed: Township Master Plan update. Discussed: Site plan to combine 2 lots in the condominium. Located at: Acadia Estates near Iosco and Bradley Rds. 4.65 acres. (4709-16-101-015, 4709-16-101-016).
Township Board Approved: Compatible Renewable Energy Ordinance.

November: Postponed Action: For the site plan amendment for Acadia Estates. Located near Iosco and Bradley Rds. To combine 2 lots in the condominium. (4.65 ac.) (4709-16-101-015 & 4709-16-101-016)

Discussed: Updating the Township Master Plan

Iosco Township continued:

Upcoming Iosco Township Board Meeting: December 18, 2025: Review: DTE Conditional Rezoning request. Located in the southeast portion of the township, approximately 825 and 950 acres.

Marion Township: September: Discussed:

Updates to the Zoning Ordinance:

- 6.20 Private Roads
- Planned Unit Development Ordinance
- Section 6.18 Condominium Projects
- Section 17.21 Multiple-Family Development
- Section 6.17 and Traffic Study

October: Discussed: Updates to the Zoning Ordinance:

- Section 6.20 Private Roads
- Section 13.03: Planned Unit Development Ordinance
- Section 6.18 Condominium Projects
- Section 17.21 Multiple-Family Development
- Section 6.17 Traffic Studies
- 16.04 Flowchart Updates -Planning Commission Action
- Section 6.16 Environmental Performance Standards
- Section 6.07.13 Cargo Container Ordinance

November: Recommended Approval: For the following amendments to the Zoning Ordinance:

- Section 6.20 Private Roads
- Section 13.03: Planned Unit Development Ordinance
- Section 6.18 Condominium Projects
- Section 17.21 Multiple-Family Development
- 6.17 Infrastructure and Concurrency Standards
- 16.04 Planning Commission Action

At-a-Glance

Planning Commission Summary

September, October, November



Unadilla Township: September: Discussed: Zoning Ordinance updates for Articles 4-8. The updates included fixing grammatical errors and revising them to be consistent with other sections.

October: Meeting postponed to November 6th.

November: Recommended Approval: For the Civil Infraction Ordinance.

Discussed: Amendments to Article 8 "Reserved for Future Use", Article 9 "Zoning Districts & Maps" and Article 11 "Agricultural District".

Postponed Discussion: Article 10, Conservation District, PUD Option 1.

Approved: Rescheduling November meeting to December 2nd

Putnam Township: September: Discussed: Master Plan and Future Land Use Map.

Discussed: Ordinances that need updating.

October: Discussed: Township Master Plan and the Future Land Use Map.

Discussed: Ordinances that need updating.

November: Discussed: Township Master Plan and the Future Land Use Map.

Discussed: Ordinances that need updating.

Village of Pinckney: September: No Meeting

October: Approved: A request to divide a parcel into two. Located at: 10170 Ashton St. (4714-26-103-052) The property owner is selling the split to the owner at 10148 Ashton St.

November: Recommended Approval: for Special use permit to open an adult use cannabis retailer (Essence). Located on a vacant lot at: 1268 E M-36, Pinckney (4714-23-400-007).

Discussed: Master Plan Update

Discussed: Prohibited Parking in the Village

Discussed: Review and update if needed.

Genoa Charter Township: September: Postponed Action:

Zoning ordinance text amendments to Article 13 entitled "Environmental Protection Regulations"

October: No Meeting

Township Board: Approved: Zoning Ordinance Text Amendments, Article 21, Sections 5 & 6 Posting Requirements and Moratoriums.

Township Board: Approved: a 12-Month Moratorium on all rezoning applications while the Township updates their Master Plan.

November: No Meeting

Brighton Charter Township: September: Tabled: Rezoning request from Residential Single Family (R-2) to Planned Unit Development (PUD). Also known as the Cove of Woodland Lake for 37 single family homes and 8 detached condominiums. Located at: Christine Dr. and Dann Dr. near Woodland Hills Subdivision. (4712-18-300-011 and 4712-18-400-027).

Recommended Approval: Zoning Ordinance Amendment to Article 3, Residential Districts, "Uses Permitted". Discussed: Zoning Ordinance amendment to Chapter 5, Animals.

October: Listened and Discussed: A presentation on Woodland Lake Water Quality.

Recommended Approval with Conditions: Preliminary site plan for Hyne AirPark and site condominium. For 18 single family lots with up to six airplane hangers. Located at: near Hyne Rd and Brandy Ln. (4712-18-200-014).

November: Recommended Approval: Rezoning request from Residential Single Family (R-2) to Planned Unit Development (PUD). Also known as the Cove of Woodland Lake for 37 single family home sites property and 8 detached condominiums. Located at: Christine Dr. and Dann Dr. near Woodland Hills Subdivision.

At-a-Glance

Planning Commission Summary

September, October, November



Hamburg Township: September: Reviewed: Site plan extension for the Crossing at Lakelands Trail located at M-36 and Hamburg Rd. year.

October: No Meeting

November: Recommended Approval: Site plan amendment to remove 1 building of 16 units, re-space remaining buildings and road access, add (2) garage/storage combo buildings. For the Crossing at Lakelands Trail development. Located near M-36 and Hamburg Rd. (4715-25-400-048).

Recommended Approval: Rezoning of 115 acres from Medium Density Residential (RA) to Public & Private Recreational Facilities District (PPRF). Located at: 10405 Merrill Rd. (4715-26-100-028). Property is owned by the Township with existing public park amenities.

Recommended Approval: Rezoning of 181 acres from Medium Density Residential (RA)/ Natural Rivers (NR)/Waterfront Residential (WFR) to Public & Private Recreational Facilities District. Located at 10405 Merrill Rd (4715-26-100-023). Property is owned by the Township with existing public park amenities.

Discussed: Short-Term Rental Ordinance Regulations.

Green Oak Charter Township: September: No Meeting

October: Discussed: Draft ordinance for 38-171 Accessory building structures, and uses.

November: Postponed Action: Site plan for a construction of a contractor storage yard on 5 acres. Located at: 11700 Grand River Ave. (4716-03-200-003).

Discussed: Text amendments for Section 38-171: Accessory Buildings.

City of Brighton: September: Recommended Approval:

For site plan with addition of renovations to the BAFA Fire Station. Located at: 615 W. Grand River.

October: Approved with Conditions: A site plan for a new 15,000 square-foot office building. Located at: Within the Brighton Towne Square Development (4718-24-400-042).

November: Approved: Preliminary PUD site plan for a proposed senior housing community to include independent, assisted and memory care units. Located on 20 acres near the intersection of Nemco and Halloway Dr. (4718-24-400-042).

Upcoming December 1, 2025 Meeting: Public Hearing and Consideration of adoption the City Master Plan. **Discuss:** Zoning Ordinance amendments related to: Off street parking regulations, certificate occupancy, and accessory buildings or uses.

Livingston County Planning Commission:

September: Disapproved: Deerfield Township Rezoning, from small farms (5 acres or less) to Light Industrial. Located at: Argentine Rd north of Allen Rd. (4703-35-300-007)

Recommended Approval: Genoa Township Text Amendments, Article 21, Sections 5 & 6 Posting Requirements and Moratoriums.

Recommended Approval: Howell Township Text and Map Amendments, Articles 16 & 30 Renewable Energy Facilities and Overlay Districts

Recommended Approval: Howell Township Text Amendments, Various Sections, Portable Storage Containers.

No Action: Handy and Conway Township PA 116 Farmland and Open Space Agreement, Handy Twp & Conway Township, 10.08 acres. Located at: 11398 Heidi Jane Lane, Fowlerville,

At-a-Glance

Planning Commission Summary

September, October, November



Livingston County Planning Commission continued: *October:* Recommended Approval: Iosco Township Text Amendments, Section 8.8 Signs.

Recommended Approval: Brighton Township Text Amendments, Section 3.02 Residential Permits, "Uses Permitted" to update standards on raising of chickens and processing.

Recommended Disapproval: Conway Township Conditional Rezoning, from Agricultural to Light Industrial. Located at: 7398 Hayner Rd., Fowlerville (4701-14-200-005 and 4701-14-200-006).

Recommended Disapproval: Howell Township Conditional Rezoning, from Regional Service Commercial (RSC) to Industrial (I). To better align to the Trans West Industrial Park with a planned connection that already exists on the site.

Recommended Approval: To distribute the Draft 2026 Livingston County Master Plan.

November: Recommended Disapproval: Howell Township: Conditional rezoning request to rezone 19 parcels (approximately 1000 acres) from Agricultural Residential, Single Family Residential, or Neighborhood Service to Commercial to Research and Technology; to allow a large data center. Located both north and south of W. Grand River Ave. between Owosso and Fleming Rds.

Recommended Disapproval: Howell Township: Zoning ordinance text amendment for Article 5- Research and Technology zoning district to add a 'data processing' as a definition.

Recommended Approval: Oceola Township: Text amendment, Section 12.31 Waste Receptacles and Management, screening

Recommended Approval: Oceola Township: Text amendment, Section 15.02 Procedures for Making Applications for Sketch Plans and Planning Commission approval process.

Recommended Approval: Oceola Township: Text amendment, Section 16.11 Sketch Plan standards.

Recommended Approval: Cohoctah Township Moratorium Ordinance.



Distribution of DRAFT 2026 Livingston County, Michigan Master Plan

From Rob Stanford <RStanford@livgov.com>

Date Tue 11/25/2025 11:24 AM



Livingston County Department of Planning

Department Address:
Administration Building
304 E. Grand River Avenue
Howell, MI 48843-2323
P: 517-546-7555
W: milivcounty.gov/planning

• Scott Barb
AICP, PEM
Director

• Robert Stanford
AICP
Principal Planner

• Martha Haglund
AICP
Principal Planner

• Abby Carrigan
Planning Intern

TO: Livingston County Board of Commissioners
Livingston County Municipal Legislative Bodies
Contiguous Municipal Legislative Bodies,
Southeast Michigan Council of Governments
Public Utility Companies and Railroad Companies

FROM: Livingston County Planning Department
Scott Barb, Director

DATE: November 25, 2025

RE: Distribution of DRAFT 2026 Livingston County Master Plan for public review and comment

On October 15, 2025, the Livingston County Planning Commission recommended to the Livingston County Board of Commissioners to approve the release of the Draft 2026 Livingston County Master Plan to all the neighboring communities and interested parties for a 63-day review period as required by the Michigan Planning Enabling Act (PA 33 of 2008 as amended). On November 24, 2025, the Livingston County Board of Commissioners approved the distribution of the Draft 2018 Livingston County Master Plan for public review and comment.

During the 63-day review period, public comments will be collected by County Planning Department staff. After the review period (which ends on January 26, 2026), a public hearing will be scheduled by the Livingston County Planning Commission (date to be determined) to hear verbal comments, and to review the comments collected by staff. Adoption of the plan will not take place until after this review period and public hearing.

Please see the Livingston County Planning Department website at: <https://milivcounty.gov/planning/2026-master-plan/> for a link to the complete draft of the plan. The Draft 2026 Livingston County Master Plan is a web-based plan that is intended to be viewed and utilized digitally, although the plan can be downloaded and printed by the user. A copy of the draft plan is also available at the front counter of the Livingston County Planning Department.

Comments on the draft plan may be made directly from the 2026 Draft Master Plan website utilizing the public comment link found there, or by e-mail to the Livingston County Planning Department at planning@livgov.com, by letter, fax, or telephone contact as indicated on this letterhead.

Thank you for your consideration of this matter. If you have any questions regarding this correspondence, please contact Livingston County Planning Department. We look forward to your comments regarding this draft document.

Livingston County Planning Department

Planning Director
Scott Barb, AICP
Sbarb@livgov.com

Principal Planner
Martha Haglund, AICP
Mhaglund@livgov.com

Principal Planner
Rob Stanford, AICP
Rstanford@livgov.com

Planning Intern
Abby Carrigan
Acarrigan@livgov.com



Livingston County Planning Newsletter

The County Master Plan Review and Comment Period

The [Draft 2026 Livingston County Master Plan](#) is now available for review. We invite everyone to look over the document and share their input. [Livingston County Master Plan – Feedback–](#)

The following are some highlights from the updated Livingston County Master Plan.

Key Findings: Public input revealed strong support for farmland and open space protection, a priority further reinforced by the Livingston County, Michigan: 2025 Sustainable Agriculture, Food Systems, & Rural Environments Plan. At the same time, demographic analysis highlights a rapidly aging population, with significant implications for healthcare, housing, and transportation. To address these shifts, the plan emphasizes intergenerational strategies that meet the needs of older residents while attracting and retaining younger household Economically, Livingston County continues to hold Michigan’s highest median household income, yet challenges persist in service accessibility and a changing retail landscape.

Housing affordability remains a pressing concern, as rising home values create barriers for both first-time buyers and older adults, underscoring the need for more diverse housing options.

priorities, ranging from expanded broadband to the integration of renewable energy projects and other technologies that will shape the county’s future.

The plan concludes with an existing land use inventory and a future land use plan, providing an understanding of current development trends and establishing a future vision informed by resident input and local community plans. In summary, the Livingston County, Michigan 2026 Master Plan provides a strategic approach to managing growth, preserving community identity, and ensuring progress toward sustainable development.



Bill Anderson stepping down from the Livingston County Planning Commission



Bill Anderson served on the Livingston Planning Commission since 2008. For 17 years, Bill has provided leadership on the Livingston County Planning Commission as a representative of the commercial segments of Livingston County. He played a significant role in the ongoing development and growth of Livingston County Planning Department programs; most notably the 2018 and 2026 Livingston County Master Plans.

Bill is known to both the Livingston County Planning Commission and those it serves, as an unwavering champion of the Livingston County Planning Department and Planning Department staff. Bill is an honest, fair and thoughtful leader, and his experience, knowledge, and attention to detail will be greatly missed. Thank you to your commitment in public service and planning. Good luck on your next adventure!



Michigan Association of Planning-Outstanding Undergraduate Award

The [Livingston County Sustainable Agriculture, Food Systems, and Rural Environments Plan](#) marks a significant achievement as the first comprehensive strategy in the county dedicated exclusively to sustainable agriculture and food systems.

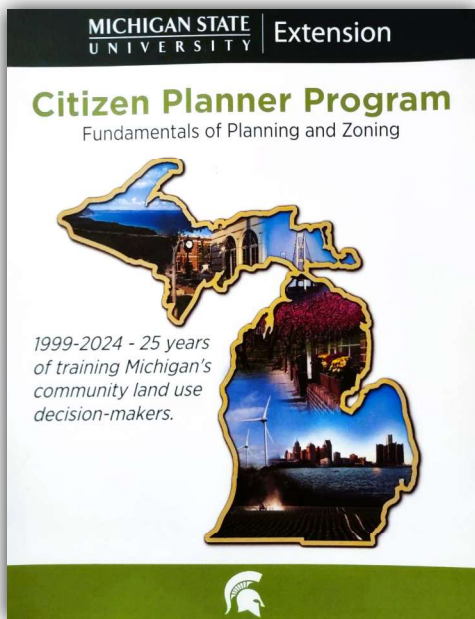
This initiative places the county in an optimal position to be self-sufficient in numerous aspects of food production and consumption. The plan outlines ways communities can achieve their farmland preservation goals, support local farmers, improve environmental stewardship, and increase rates of food security.

The Plan was produced entirely in-house by Abby Carrigan, our Planning Department intern, with assistance from the Livingston County Information Technology- GIS Department.



County Planning Department—A Year in Review

As we reflect on the accomplishments of 2025, the Planning Department has several noteworthy success stories to highlight. One significant initiative was the hosting of the Master Citizen Planner courses in collaboration with MSU Extension. This in-person program generated considerable interest, attracting over 45 participants for a series of six classes that addressed various planning topics. Upon completion, participants were well-prepared to take the Master Citizen Planner examination and obtain their certification. We look forward to hosting another series in the spring of 2026.



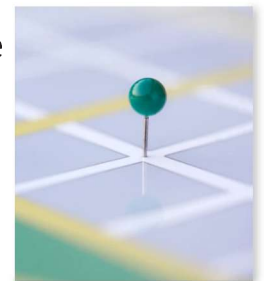
In addition to the Master Planner series, the Planning Department organized two brown bag lunch sessions. These sessions focused on Gravel Pit Planning and Zoning, presented by Gerald Fischer, and the integration of Emergency Management into Master Plans, led by the County Emergency Management Team—Therese Cremonette and Kristi Wahoski. Presentation slides and handouts from all previous lunch and learn events can be found on the [Livingston County Lunch & Learn Series](#).

As previously noted the award-winning [Livingston County Sustainable Agriculture, Food Systems, and Rural Environments Plan](#) has been published. Our department is eager to see Abby's contributions to new projects within the County Planning Department.



Our Planning Department supports the County [Materials Management Planning Committee](#), who are diligently working to develop a comprehensive Materials Management Plan that emphasizes waste diversion while also exploring economic systems and capacity to mitigate waste generation. Extensive community engagement and input will be prioritized in 2026.

A critical component of the Planning Department's mission is to engage with local communities, while also providing feedback on proposed ordinance and zoning changes. This year, our department has



conducted numerous staff reviews, which the Livingston County Planning Commission considers when formulating their recommendations to local communities.

Finally, we are proud to be nearing the final stages of the Master Plan process and look forward to hearing your feedback!

[Draft Livingston County Master Plan](#)
[Submit your Feedback](#)

Fwd: Planning Commission Resignation

From Howell Township Supervisor <supervisor@howelltownshipmi.org>

Date Wed 12/3/2025 8:05 AM

To Howell Township Treasurer <treasurer@howelltownshipmi.org>

Begin forwarded message:

From: "Newstead, Michael W." [REDACTED]
Date: December 3, 2025 at 7:24:02 AM EST
To: Howell Township Supervisor <supervisor@howelltownshipmi.org>
Subject: Planning Commission Resignation

To the Howell Township Supervisor,

Effective immediately, I hereby resign from my position as a Howell Township Planning Commissioner. After careful consideration and discussion with my family, I have concluded that I must devote my time and attention to other priorities and, as such, cannot give this role the focus it deserves.

I am grateful for the opportunity to serve on the Planning Commission and for the experience of contributing to our community. I wish the Board and the Township every success in all that lies ahead.

Sincerely,
Michael Newstead
5029 Fisher Rd.
Howell, MI 48855

Electronic Mail is not secure, may not be read every day, and should not be used for

HOWELL TOWNSHIP
Application for Site Plan Review
3525 Byron Road Howell, MI 48855
Phone: 517-546-2817 ext. 108
Email: inspector@howelltownshipmi.org

Date 9/8/25

File # _____

Applicant Name Dakota Haslock










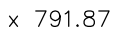















Parcel ID # 4706- 28-100-024

Location of Property 3590 W Grand River Ave Current Zoning Classification IFZ
Existing Use Fence Company / Truck yard Proposed Use Storage

Check One:

- | | |
|--------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Preliminary Site Plan Review (20.06) | <input type="checkbox"/> Final Site Plan Review (20.07) |
| <input type="checkbox"/> Temporary Use (14.25) | <input type="checkbox"/> Commercial/Industrial Development |
| <input type="checkbox"/> Subdivision/Site Plan Condo | <input type="checkbox"/> Multi-Family/Condo |
| <input type="checkbox"/> Planned Unit Development (PUD) Type: | 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> |

SECTION , T3N-R4E, HOWELL, TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

| | |
|-------------------------------------------------------------------------------------|-----------------------------------|
|  | DRAINAGE FLOW |
|  | LIGHT POLE |
|  | SIGN |
|  | UTILITY POLE |
|  | CATCH BASIN |
|  | MANHOLE |
|  | GATE VALVE IN WELL |
|  | HYDRANT |
|  | PROPOSED SPOT ELEVATION |
|  | EXISTING SPOT ELEVATION |
|  | MAJOR CONTOUR - 5 FT. INTERVAL |
|  | MINOR CONTOUR - 1 FT. INTERVAL |
|  | FENCE LINE |
|  | EXISTING STORM SEWER |
|  | EXISTING SANITARY SEWER (GRAVITY) |
|  | EXISTING WATER MAIN |
|  | GAS MAIN |
|  | TELEPHONE LINE |
|  | UNDERGROUND TELEPHONE LINE |
|  | ELECTRIC LINE |
|  | UNDERGROUND ELECTRIC LINE |
|  | OVERHEAD ELECTRICAL LINE |
|  | DECIDUOUS TREE |
|  | CONIFEROUS TREE |
|  | TREE & BRUSH LINE |

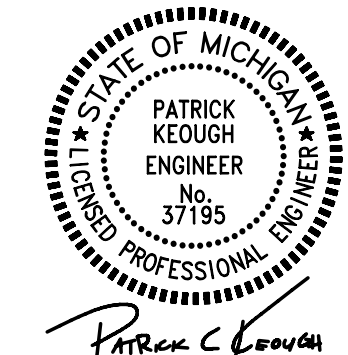
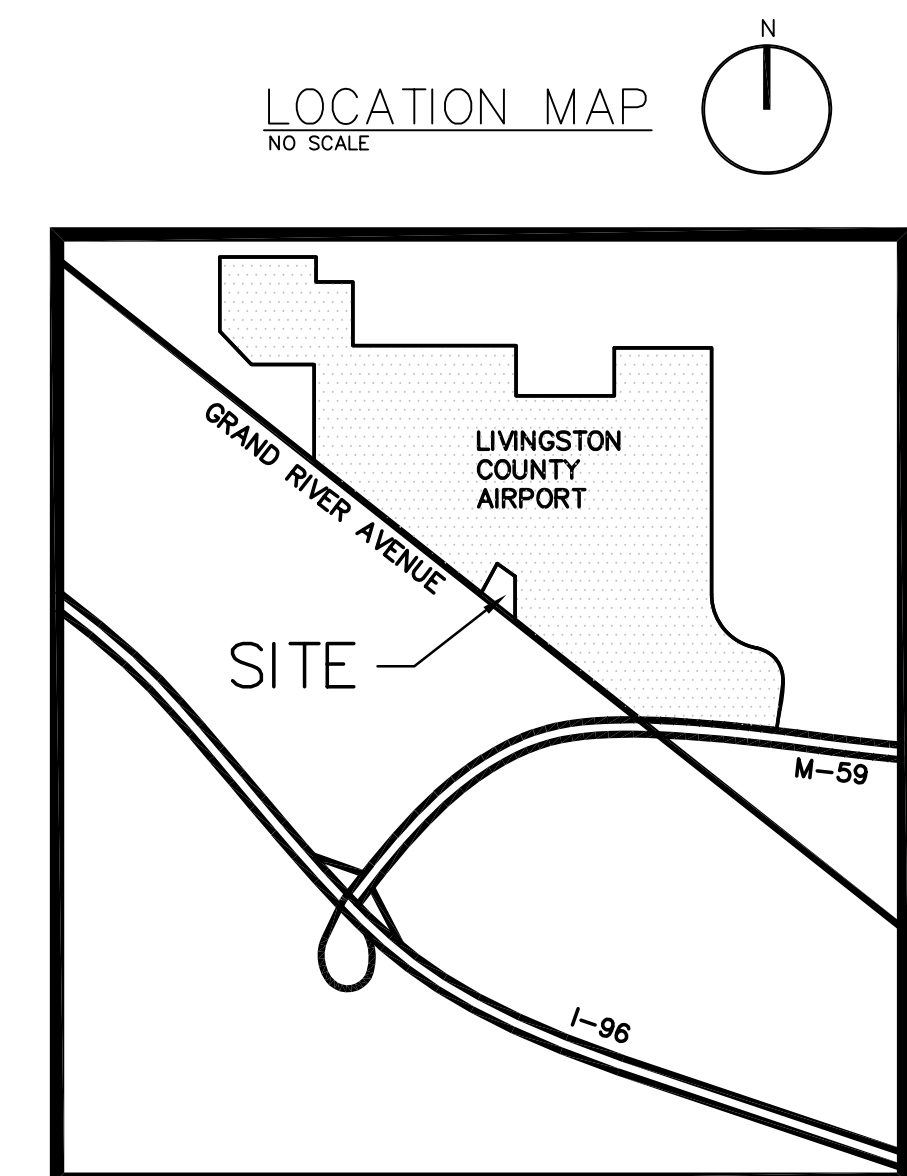
DRAWING INDEX

| <u>NO.</u> | <u>TITLE</u> |
|------------|-------------------------------|
| 1 | COVER SHEET |
| 2 | EXISTING CONDITIONS/DEMO PLAN |
| 3 | SITE PLAN |
| 4 | GRADING PLAN |
| 5 | SESC – DRAINAGE AREA PLAN |

LEGAL DESCRIPTION

SEC 28 T3N R4E BEG AT N 1/4 COR OF SEC 28, TH S00°21'00"E 381.78 FT TO POB, TH CONT S00°21'00"E 568.04 FT TO CENTER OF GRAND RIVER, TH N51°56'49"W 555.12 FT, TH N28°09'25"E 446.72 FT, TH S52°59'27"E 279.07 FT TO THE POB. SPLIT FROM 004, 9-87. LEGAL CORRECTED 12/22/99 FROM SURVEY DATED 12/14/99

LOCATION MAP
NO SCALE

REVISIONS:

OWNER/DEVELOPER:
HASLOCK PROPERTIES LLC
5424 W. COON LAKE RD
HOWELL, MI. 48843
517-202-0148

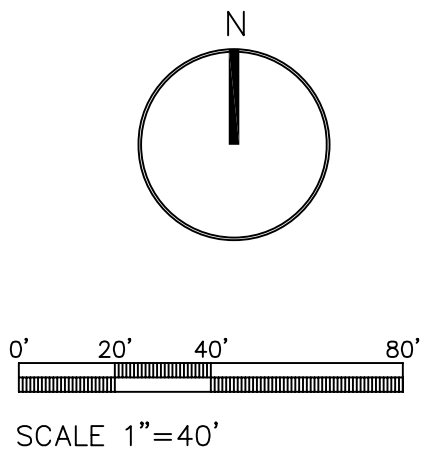
HASLOCK PROPERTIES, LLC
3590 GRAND RIVER AVENUE
HOWELL, MI. 48843

COVER SHEET I

ACE CIVIL ENGINEERING
9055 Lindemere, Fowlerville, MI 48836 517 545-4141 • acecivil@earthlink.net

| | |
|-------------|----------|
| DATE: | 08-28-25 |
| DRAWN BY: | PCK |
| CHECKED BY: | PCK |
| JOB No. | 21006 |

DRAWING No.



ZONED IFZ - INDUSTRIAL FLEX ZONE
AREA REQUIRED = 2.0 ACRES
AREA PROVIDED = 4.25 ACRES
LOT WIDTH REQUIRED = 120 FEET
LOT WIDTH PROVIDED = 480.93 FEET
FRONT SETBACK REQUIRED = 70 FEET
FRONT SETBACK PROVIDED = 100.2 FEET
SIDE SETBACK REQUIRED = 10 FEET MIN / 25 FEET TOTAL
SIDE SETBACK PROVIDED = 60.5 FEET & 99.5' FEET / 160.0 FEET TOTAL
REAR SETBACK REQUIRED = 35 FEET
REAR SETBACK PROVIDED = 88.7 FEET

ZONED IFZ
4706-28-100-027
52 METROPLEX, LLC
13701 WHITE TAIL RUN
MILFORD, MI. 48380

ZONED RT
4706-21-300-026
LIVINGSTON COUNTY AIRPORT
3399 COUNTY AIRPORT DRIVE
HOWELL, MI. 48843

ZONED RT
4706-21-300-026
LIVINGSTON COUNTY AIRPORT
3399 COUNTY AIRPORT DRIVE
HOWELL, MI. 48843

ZONED IFZ
4706-28-100-024
HASLOCK PROPERTIES LLC
5424 W. COON LAKE RD
HOWELL, MI. 48843

ZONED IFZ
4706-28-100-065
GRAND ATOMA ASSOCIATES LLC
PO BOX 159
GAYLORD, MI. 49374

ZONED IFZ
4706-28-100-065
GRAND ATOMA ASSOCIATES, LLC
P.O. BOX 159
GAYLORD, MI. 49734

ZONED IFZ
4706-28-100-006
NORTH WINDS INVESTMENT CORP.
3575 W. GRAND RIVER
HOWELL, MI. 48855

ZONED IFZ
4706-28-100-005
3571 W. GRAND RIVER LLC.
310844 MACKINAW TRAIL
FOWLERVILLE, MI. 48836

LEGAL DESCRIPTION:

PART OF SECTION 28, T3N R4E, HOWELL TOWNSHIP, BEGINNING AT THE NORTH 1/4 CORNER OF SAID SECTION 28, THENCE S00°21'00"E 381.78 FEET TO THE POINT OF BEGINNING, THENCE CONTINUING S00°21'00"E 568.04 FEET TO THE CENTER OF GRAND RIVER AVENUE, THENCE N51°56'49"W 555.12 FEET, THENCE N28°09'25"E 446.72 FEET, THENCE S52°59'27"E 279.07 FEET TO THE POINT OF BEGINNING. CONTAINING 4.25 ACRES MORE OR LESS

LEGEND

- | | |
|--|-----------------------------------|
| | DRAINAGE FLOW |
| | LIGHT POLE |
| | SIGN |
| | UTILITY POLE |
| | CATCH BASIN |
| | MANHOLE |
| | GATE VALVE IN WELL |
| | HYDRANT |
| | PROPOSED SPOT ELEVATION |
| | EXISTING SPOT ELEVATION |
| | MAJOR CONTOUR - 5 FT. INTERVAL |
| | MINOR CONTOUR - 1 FT. INTERVAL |
| | FENCE LINE |
| | EXISTING STORM SEWER |
| | EXISTING SANITARY SEWER (GRAVITY) |
| | EXISTING WATER MAIN |
| | GAS MAIN |
| | TELEPHONE LINE |
| | UNDERGROUND TELEPHONE LINE |
| | ELECTRIC LINE |
| | UNDERGROUND ELECTRIC LINE |
| | OVERHEAD ELECTRIC LINE |
| | DECIDUOUS TREE |
| | CONIFEROUS TREE |
| | TREE & BRUSH LINE |

REVISIONS:

HASLOCK PROPERTIES LLC
5424 W. COON LAKE RD
HOWELL, MI. 48843

517-202-0148

HASLOCK PROPERTIES, LLC
3590 W. GRAND RIVER AVENUE
HOWELL, MI. 48843

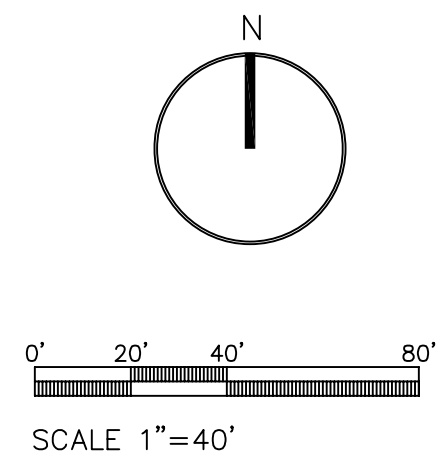
EXISTING CONDITIONS - DEMO PLAN

ACE
CIVIL
ENGINEERING
5055 Lindemere, Fowlerville, MI. 48836 517 545-4141 • acecivil@gmail.com

DATE: 08-28-25
DRAWN BY: PCK
CHECKED BY: PCK
JOB No. 21006

DRAWING No.

PARKING CALCULATIONS:
INDUSTRIAL USE:
REQUIRED PARKING SPACES = 1 SPACE PER 550 SF OF BUILDING = 8014 SF BUILDING /550 SF = 15 SPACES
REQUIRED LOADING/UNLOADING = 1 SPACE REQUIRED
REQUIRED BARRIER FREE SPACE = 1 SPACE REQUIRED
PARKING SPACES PROVIDED = 15 SPACES PLUS 1 BARRIER FREE PLUS 1 LOADING/UNLOADING



ZONED IFZ
4706-28-100-027
52 METROPLEX, LLC
13701 WHITE TAIL RUN
MILFORD, MI. 48380

ZONED RT
4706-21-300-026
LIVINGSTON COUNTY AIRPORT
3399 COUNTY AIRPORT DRIVE
HOWELL, MI. 48843

NORTH 1/4 CORNER
SECTION 28
T3N, R4E

LEGAL DESCRIPTION:

PART OF SECTION 28, T3N R4E, HOWELL TOWNSHIP, BEGINNING AT THE NORTH 1/4 CORNER OF SAID SECTION 28, THENCE S00°21'00"E 381.78 FEET TO THE POINT OF BEGINNING, THENCE CONTINUING S00°21'00"E 568.04 FEET TO THE CENTER OF GRAND RIVER AVENUE, THENCE N51°56'49"W 555.12 FEET, THENCE N28°09'25"E 446.72 FEET, THENCE S52°59'27"E 279.07 FEET TO THE POINT OF BEGINNING. CONTAINING 4.25 ACRES MORE OR LESS

ZONED IFZ - INDUSTRIAL FLEX ZONE
AREA REQUIRED = 2.0 ACRES
AREA PROVIDED = 4.25 ACRES
LOT WIDTH REQUIRED = 120 FEET
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SIDE SETBACK REQUIRED = 10 FEET MIN / 25 FEET TOTAL
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REAR SETBACK REQUIRED = 35 FEET
REAR SETBACK PROVIDED = 88.7 FEET

LEGEND

- ⇒ DRAINAGE FLOW
- ☆ LIGHT POLE
- ⊥ SIGN
- ⊥ UTILITY POLE
- CATCH BASIN
- MANHOLE
- ⊕ GATE VALVE IN WELL
- ⊕ HYDRANT
- 17P=911.7
x 791.87
990
992
x PROPOSED SPOT ELEVATION
x EXISTING SPOT ELEVATION
990 MAJOR CONTOUR - 5 FT. INTERVAL
992 MINOR CONTOUR - 1 FT. INTERVAL
- x FENCE LINE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER (GRAVITY)
- W- EXISTING WATER MAIN
- G- GAS MAIN
- T- TELEPHONE LINE
- UGT- UNDERGROUND TELEPHONE LINE
- E- ELECTRIC LINE
- UGE- UNDERGROUND ELECTRIC LINE
- OHE- OVERHEAD ELECTRI LINE
- DECIDUOUS TREE
- CONIFEROUS TREE
- TREE & BRUSH LINE
- 935- PROPOSED CONTOUR

ZONED IFZ
4706-28-100-065
GRAND ATOMA ASSOCIATES LLC
PO BOX 159
GAYLORD, MI. 49374

ZONED IFZ
4706-28-100-065
GRAND ATOMA ASSOCIATES, LLC
P.O. BOX 159
GAYLORD, MI. 49734

ZONED IFZ
4706-28-100-006
NORTH WINDS INVESTMENT CORP.
3575 W. GRAND RIVER
HOWELL, MI. 48855

ZONED IFZ
4706-28-100-024
HASLOCK PROPERTIES LLC
5424 W. COON LAKE RD
HOWELL, MI. 48843

ZONED RT
4706-21-300-026
LIVINGSTON COUNTY AIRPORT
3399 COUNTY AIRPORT DRIVE
HOWELL, MI. 48843

CROSS HATCHED AREA REPRESENTS
AREA OF ALLOWABLE OUTSIDE STORAGE

PROPOSED FINAL GRAVEL SURFACE

PROPOSED 6' HIGH VINYL
OPAQUE FENCE

BENCHMARK #2
CB RIM AT FLOWLINE
ELEV=937.91 (NAVD 88)

ZONED IFZ
4706-28-100-005
3571 W. GRAND RIVER LLC.
310844 MACKINAW TRAIL
FOWLERVILLE, MI. 48836

REVISIONS:

OWNER/REVIEW OFFICE:
HASLOCK PROPERTIES LLC
5424 W. COON LAKE RD
HOWELL, MI. 48843
517-202-0148

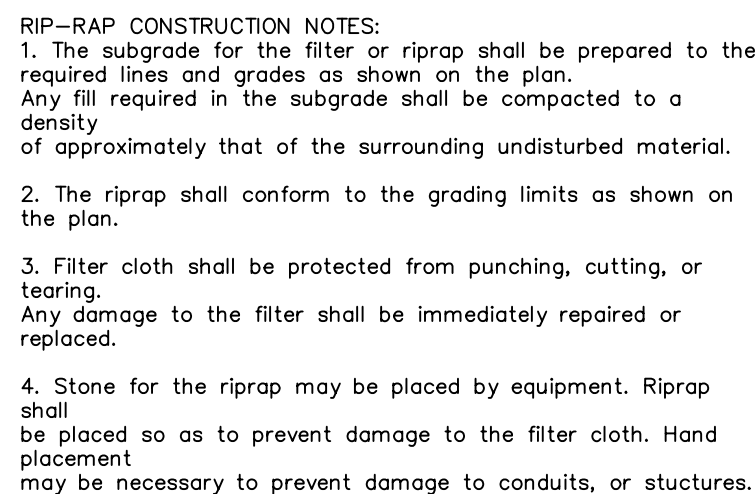
HASLOCK PROPERTIES, LLC
3590 W. GRAND RIVER AVENUE
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SITE PLAN

ACE
CIVIL
ENGINEERING
5055 Lindemere, Fowlerville, MI. 48836 517 545-4141 • acecivil@gmail.com

DATE: 08-28-25
DRAWN BY: PCK
CHECKED BY: PCK
JOB No. 21006

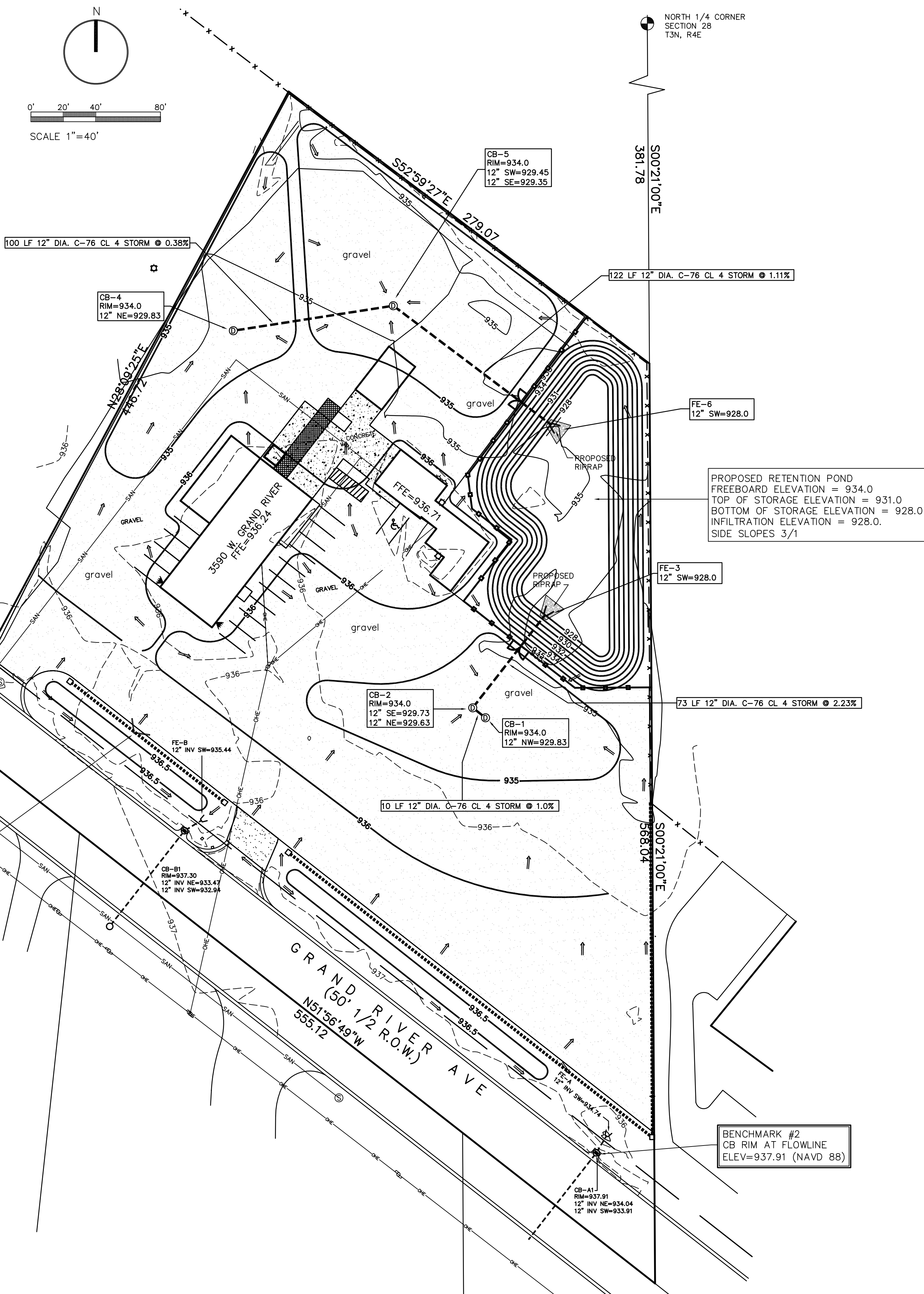
DRAWING No.

3



| DIA (in) | c fs | Lx (ft) | W (ft) | RIPRAP SIZE (in) |
|----------|------|---------|--------|------------------|
| 12" | 10 | 30 | 31.00 | 4 to 8 |
| 15" | 10 | 30 | 31.25 | 4 to 8 |
| 18" | 10 | 30 | 31.5 | 4 to 8 |
| 21" | 10 | 30 | 31.75 | 4 to 8 |
| 24" | 10 | 30 | 32.00 | 4 to 8 |
| 27" | 10 | 30 | 32.25 | 4 to 8 |
| 30" | 10 | 30 | 32.50 | 4 to 8 |
| 36" | 10 | 30 | 33.00 | 4 to 8 |
| 42" | 10 | 30 | 33.50 | 4 to 8 |
| 48" | 10 | 30 | 34.00 | 4 to 8 |

Note: All riprap dimensions are based on pipes flowing full at max velocity = 10cfs. All riprap rock size shall be 4' to 8".



| FROM MH CB OR INLET | TO MH CB OR INLET | INCREMENT ACRES "A" | "C" | EQUIVALENT AREA 100% ACRES CA | TOTAL AREA 100% ACRES CA | T MIN. | I INCHES PER HOUR | Q C.F.S. C.I.A. | DIAMETER OF PIPE IN. | SLOPE PIPE % | SLOPE HYDRAULIC % | LENGTH OF LINE FT. | VELOCITY FLOW 10 /YR FT/SEC | TIME OF FLOW MIN. | PIPE CAPACITY C.F.S. | H.G. ELEV UPPER END | UPPER INVERT ELEVATION | LOWER INVERT ELEVATION | UPPER RIM ELEVATION |
|---------------------------------|-------------------------------|---------------------------|------|-------------------------------------------|--------------------------------------|-----------|----------------------------|-----------------------|-------------------------------|--------------------|-------------------------|-----------------------------|--------------------------------------|----------------------------|----------------------------|---------------------------|------------------------------|------------------------------|---------------------------|
| CB-1 | CB-2 | 0.865 | 0.70 | 0.61 | 0.61 | 15 | 4.38 | 2.67 | 12 | 2.3 | 0.56 | 10 | 6.4 | 0.01 | 5.03 | 931.06 | 929.83 | 929.73 | 934.0 |
| CB-2 | FE-3 | 0.865 | 0.70 | 0.61 | 1.22 | 15.01 | 4.37 | 5.33 | 12 | 2.23 | 2.24 | 73 | 6.8 | 0.18 | 5.33 | 932.70 | 929.63 | 928.0 | 934.0 |
| CB-4 | CB-5 | 0.72 | 0.70 | 0.50 | 0.50 | 15 | 4.38 | 2.19 | 12 | 0.38 | 0.38 | 100 | 2.8 | 0.59 | 2.19 | 932.86 | 929.83 | 929.45 | 934.0 |
| CB-5 | FE-6 | 0.58 | 0.70 | 0.41 | 0.91 | 15.59 | 4.31 | 3.92 | 12 | 1.11 | 1.21 | 122 | 5.0 | 0.41 | 3.92 | 932.48 | 929.33 | 928.0 | 934.0 |

1. THE JOINTS AROUND THE INSIDE CIRCUMFERENCE OF THE STRUCTURE SHALL BE POINTED WITH CEMENT MORTAR.
2. ALL HOLES PROVIDED FOR LIFTING AND HANDLING SHALL BE FILLED WITH MORTAR AND MADE WATERTIGHT.
3. MANHOLE STEPS SHALL BE ASPHALT-COATED CAST IRON (EAST JORDAN 8500) OR STEEL REINFORCED, HIGH DENSITY POLYPROPYLENE PLASTIC (M. A. INDUSTRIES PS-1-PF) MEETING CURRENT OSHA REQUIREMENTS. THE STEPS SHALL BE A MINIMUM OF 10" WIDE AND SHALL BE INSTALLED DURING MANHOLE MANUFACTURE. PLACE STEPS AT 16" ON CENTER AND AT 45' FROM THE SEWER.

RETENTION POND CALCULATIONS:

SITE AREA = 3.63 ACRES

VOLUME REQUIRED $V_{req} = 3.63 \text{ ac} \times 43560 \text{ sf/ac} \times 2"/12" = 26,354 \text{ cf}$

VOLUME PROVIDED = 26, 513 CF PLUS 3 FEET OF FREEBOARD

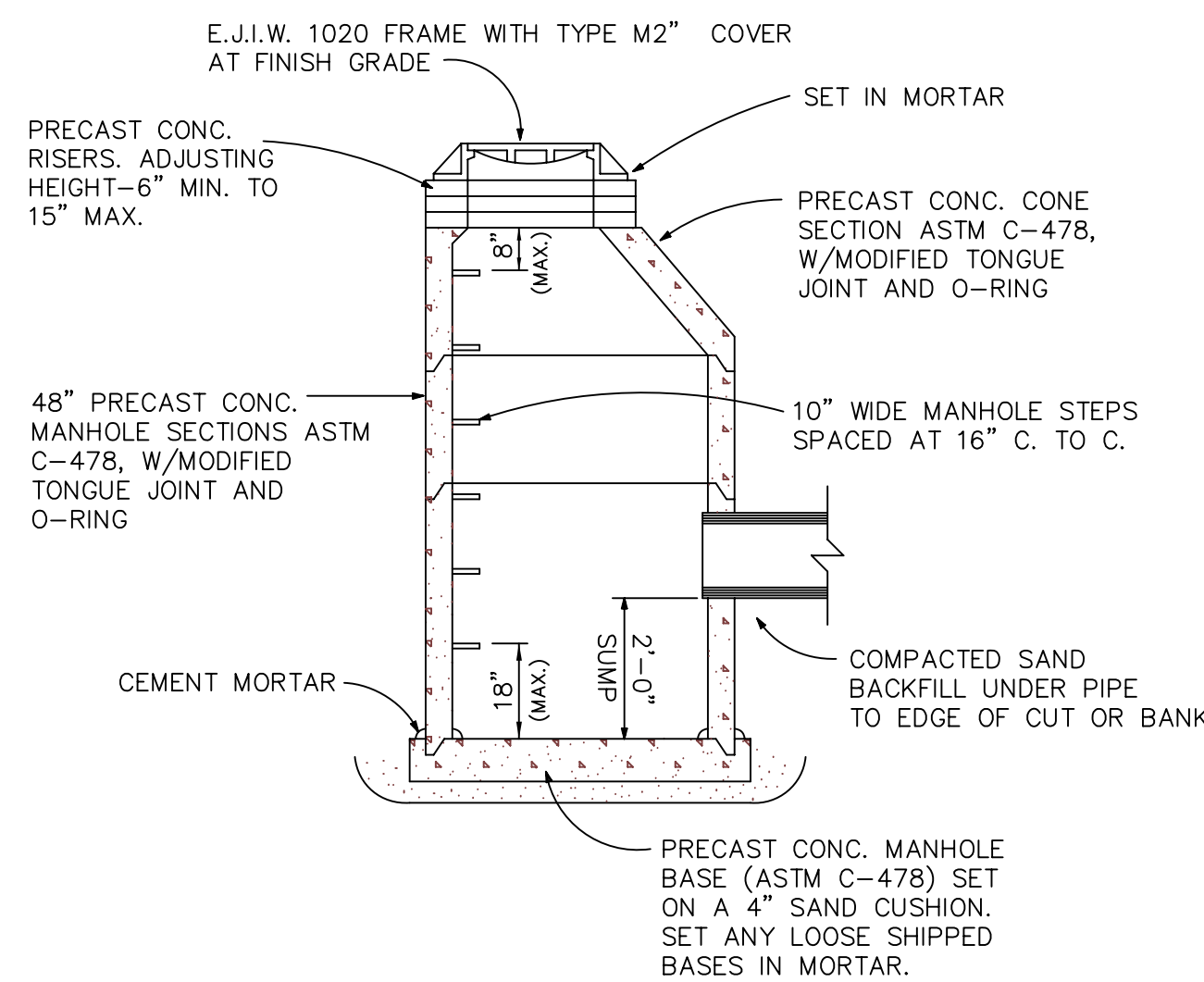
| ELEVATION | SURFACE AREA | VOLUME | TOTAL VOLUME |
|-----------|--------------|--------|---------------|
| 928 | 6967 | | |
| 929 | 8182 | 7575 | 7575 |
| 930 | 9455 | 8818 | 16,393 |
| 931 | 10784 | 10120 | <u>26,513</u> |

INFILTRATION REQUIREMENTS:

BOTTOM OF POND IS MIXTURE OF SANDY CLAY LOAM WITH DESIGN AVERAGE
IN-SITU INFILTRATION RATE OF 0.75"/HR.

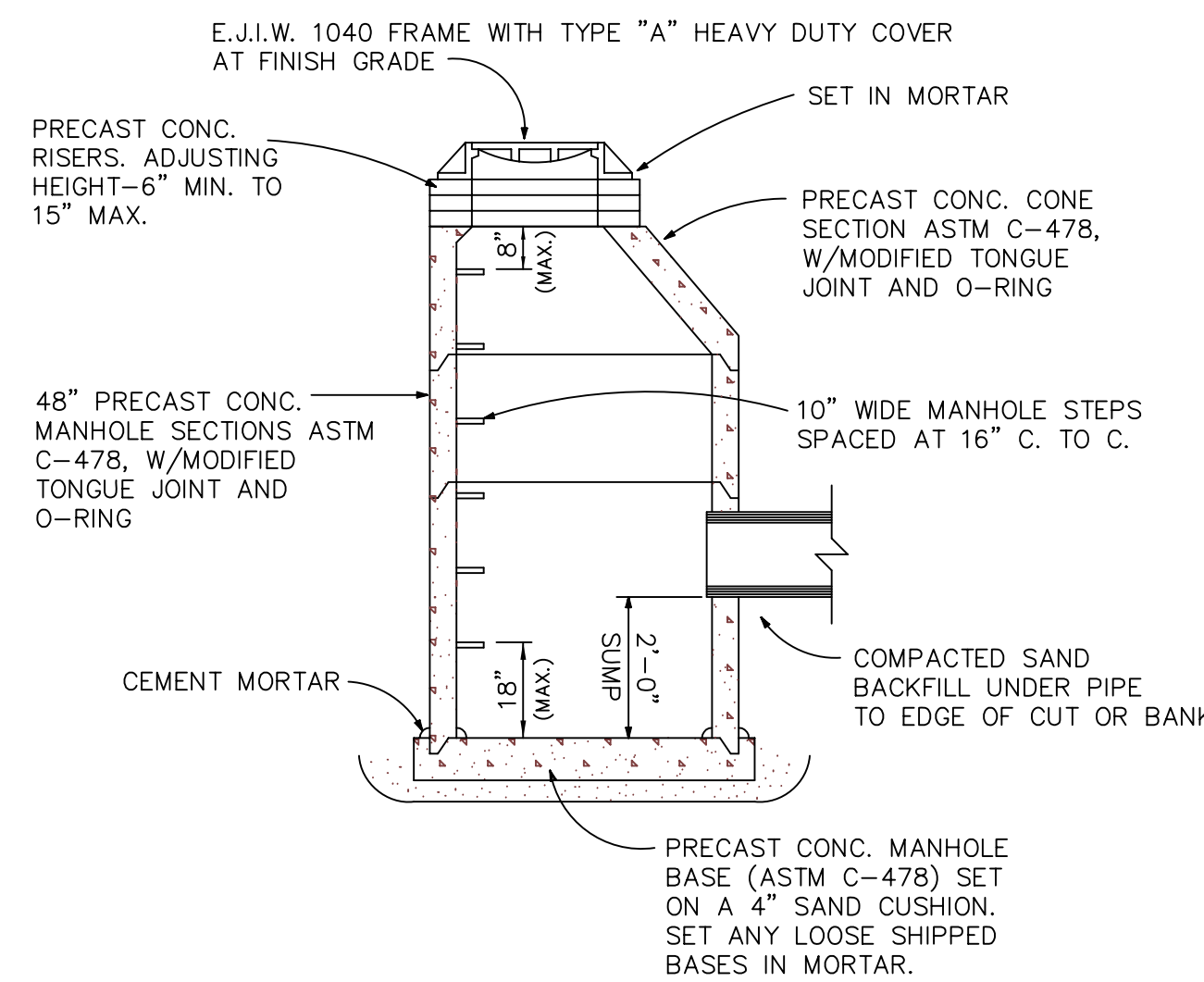
BOTTOM OF POND AT ELEVATION 928 WITH SURFACE AREA = 6967 SF.

MUST INFILTRATE Vreq (26,354 cf) IN LESS THAN 72 HOURS.

$$\text{TIME TO INFILTRATE} = 26,354 \text{ CF} / ((0.75"/\text{HR} \times 12"/\text{FT}) \times 6967 \text{ SF}) = 60.5 \text{ HOURS}$$


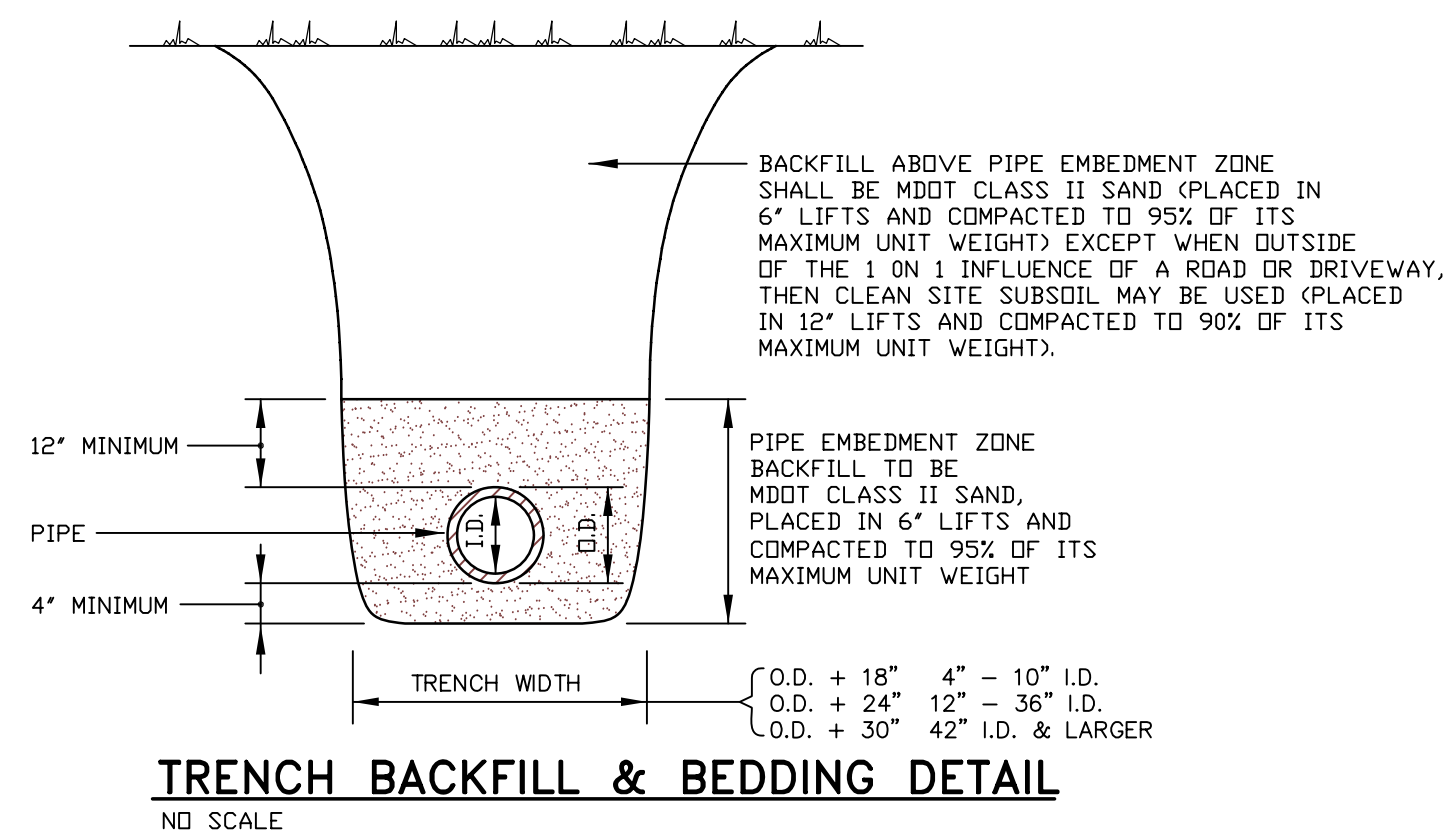
FOUR FOOT DIA. CATCH BASIN

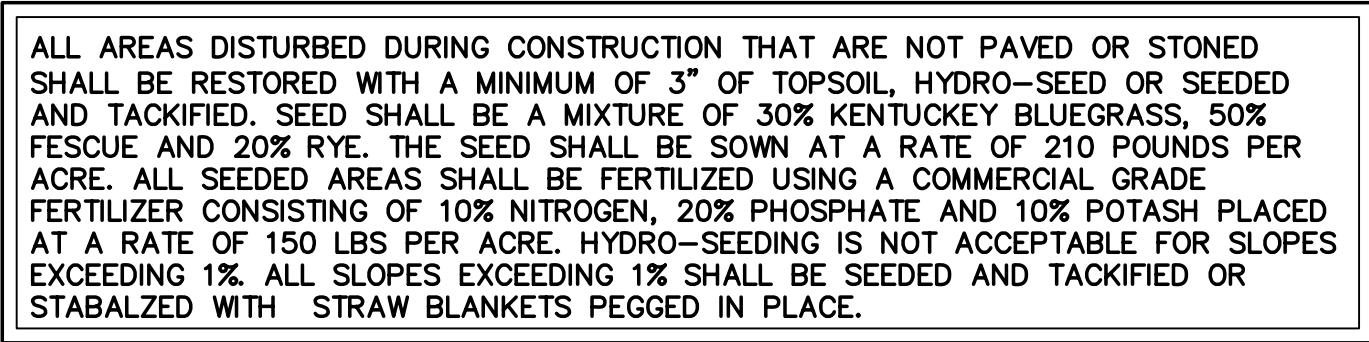
NO SCA



FOUR FOOT DIA. STORM MANHOLE

NO SC

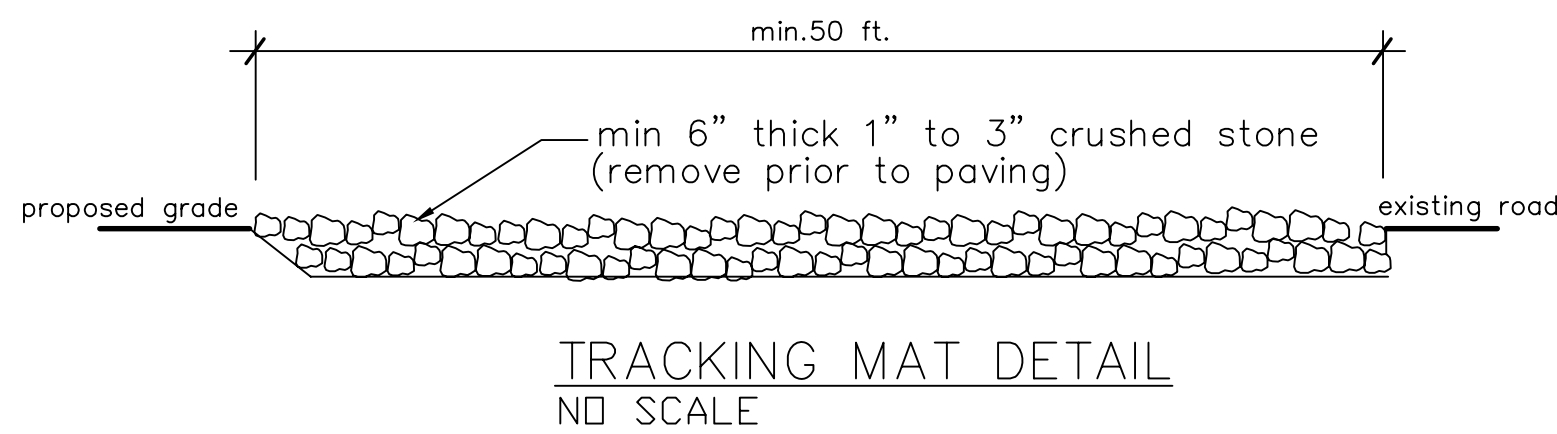


[illegible]

MAINTENANCE SCHEDULE

1. CONTRACTOR SHALL CHECK SILT FENCE EVERY WEEK, AND SHALL MAKE REPAIRS AS NECESSARY.
2. CONTRACTOR SHALL CHECK INLET FILTERS WITHIN ONE DAY AFTER A STORM, AND SHALL REPAIR AND CLEAN AS NECESSARY.
3. CONTRACTOR SHALL CHECK SILT TRAPS WITHIN ONE DAY AFTER A STORM, AND SHALL CLEAN AS NECESSARY.

AREA OF DISTURBANCE = 3.63 ACRES

SOIL EROSION CONTROL NOTES:

1. All erosion and sediment control work shall conform to standards and specifications of the Livingston County Drain Commissioner.
2. Daily inspections shall be made by Contractor for effectiveness of erosion and sedimentation control measures, and when necessary, repairs shall be performed without delay.
3. Erosion and any sedimentation from work on this site shall be contained on the site and not allowed to collect on any off-site areas or in waterways.
4. Contractor shall apply temporary erosion and sedimentation control measures as shown on these plans in the following sequence:
 - * Install silt fence (INSPECT AS NEEDED)
 - * Install Tracking Mat
 - * Construct Retention Pond
 - * Install storm sewer and inlet filters
 - * Grade and Gravel Parking
 - * Install New Fencing
 - * Landscape and Seed
 - * Remove temporary SESC measures
5. The Contractor shall preserve natural vegetation as much as possible.
6. All areas disturbed during construction shall be restored with 3" (min.) of topsoil, seeded and mulched.
7. All common areas (detention/sediment basins, drainage easements, boulevards, etc.) shall be stabilized within 15 days after grade work.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: October 20, 2025

Site Plan Review For Howell Township, Michigan

Applicant: Dakota Haslock, Haslock Properties LLC

Project Name: Storage

Plan Date: August 28, 2025

Location: 3590 W Grand River Ave.
(Parcel #4706-28-100-024)

Zoning: IFZ – Industrial Flex Zone

Action Requested: Preliminary Site Plan Approval

PROJECT AND SITE DESCRIPTION

The applicant has submitted a Preliminary Site Plan, dated August 28, 2025, for a proposed gravel storage yard and a concrete loading area on the back of the existing building. The site is located southwest of the Livingston County Airport along Grand River Ave. Contractor equipment and materials storage yards for building and other types of construction are permitted in the IFZ district with the requirement that any area used for outdoor storage is completely enclosed and screened from external visibility beyond such storage area per Section 12.02. L. The applicant shall provide more information on what will be stored on the property.

The approximately 4.25-acre subject site currently has two (2) existing buildings along with trees in the northwest corner. The applicant plans on reusing the buildings, reconfiguring the parking lot, and adding a retention pond to the northeast corner of the site. It is bordered by industrial buildings to the south, Livingston County Airport to the north, industrial buildings to the west and a vacant parcel to the east. **Figure 1** provides an aerial image of the site.

Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Principal*
Richard K. Carlisle, *Past President/Senior Principal*

Figure 1. Aerial Image of Subject Site and Vicinity



Source: Near Map, July 2025

Items to be Addressed: The applicant shall provide more information on what will be stored on site.

NEIGHBORING ZONING AND LAND USE

Neighboring zoning designations are summarized in **Table 1** and **Figures 2 and 3**.

Table 1. Zoning, Land Use and Master Plan Designations

| | Zoning | Existing Land Use | Master Plan Designations |
|---------------------|------------------------------|--------------------------|---------------------------------|
| Subject Site | IFZ – Industrial Flex Zone | Industrial | Industrial Flex |
| North | RT – Research and Technology | County Airport | Airport |
| South | IFZ – Industrial Flex Zone | Industrial | Industrial Flex |
| East | RT – Research and Technology | County Airport | Airport |
| West | IFZ – Industrial Flex Zone | Industrial | Industrial Flex |

Figure 2. Surrounding Zoning Designations

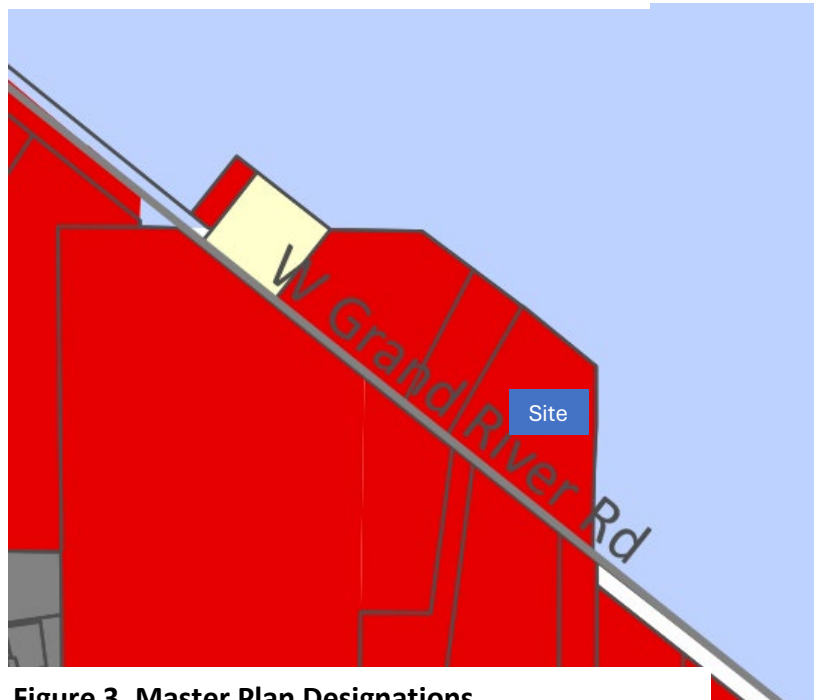


Figure 3. Master Plan Designations



Items to be Addressed: None.

NATURAL FEATURES

The site has no woodlands and no water features. There are fourteen (14) maple trees that have calipers between twelve (12) and thirty-six (36) inches that the applicant is planning to remove as shown on Sheet 2. These trees will be removed for a proposed retention pond as shown on Sheets 3,4, and 5. **Figure 4** shows what the property looked like in July 2025.

Figure 4. Natural Features



Nearmap: July 2025

EGLE's Wetlands Map Viewer shows an area which includes wetlands adjacent to northern property line outside of the site. This is an identified wetland on the National Wetlands Inventory (NWI) or Michigan Resource Inventory System (MIRIS) maps. No impacts are proposed to this wetland.

Items to be Addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

Table 2 summarizes the lot size, lot width building height, setback requirements, and lot coverage found schedule of regulations table in Section 3.17 in the Zoning Ordinance.

Table 2. Density, Placement, and Height Regulations

| Standard | Required | Provided | Complies |
|-------------------|------------------------------------------------------|--------------------------------------|----------|
| Total Parcel Size | 2 acres | 4.25 acres | Yes |
| Lot Width | 200 feet or 120 feet with public water and sewer | 480.93 feet | Yes |
| Building Height | 70 feet | Not provided | Unknown |
| Front Setback | 50 feet | 100.2 feet | Yes |
| Side Setback | 10, minimum both side yard setbacks total of 25 feet | West – 99.9 feet East – 60.5 feet | Yes |
| Rear Setback | 35 feet | 88.7 feet | Yes |
| Lot Coverage | Max 75% | Not provided | Unknown |

There is a 50-foot front yard setback along Grand River. The edge of the right-of-way must be depicted on the plan and the 50 setback must be delineated from that line. The applicant will be using the existing buildings on the site. While the heights of the buildings and the lot coverage will remain the same, the applicant still shall provide it.

The gravel storage area is proposed within the front side and rear setbacks. Per section 12.06.F., any storage of materials outside of the permitted structure must be proposed and approved by the Planning Commission. The storage area must be screened from the view of adjacent properties and along Grand River by a wall or fence that is no greater than twelve (12) feet in height.

Items to be Addressed:

- 1) The applicant shall provide the building height and the lot coverage.*
- 2) The applicant needs approval from the Planning Commission to have storage outside of the structure.*

SITE ACCESS AND CIRCULATION

There are two (2) existing access points along W. Grand River Ave., one (1) on the east side of the building, and one (1) on the west side of the building. While these are existing the Livingston County Road Commission should comment if permits are needed for the new use.

No circulation plan is provided and no details of storage areas are provided. There is a utility pole in the middle of the proposed lot immediately behind a parking space. This pole should be relocated.

We defer to Engineering and the Fire Chief for further consideration.

Items to be Addressed:

- 1) Provide approval from the Livingston County Road commission for the existing access points.*
- 2) Provide proposed location for outdoor storage areas and a circulation plan.*
- 3) Move utility pole.*

PARKING, LOADING

Section 18.02 requires Industrial Uses to provide one (1) parking space for every employee working during the largest working shift, or one (1) space for every 550 square feet of total floor space, whichever is greater. The applicant provided parking spaces based on the square footage of the building shown on Sheet 3.

$$\begin{aligned} &8,014 \text{ square feet of building} / 550 \text{ square feet} \\ &= \mathbf{15 \text{ total required parking spaces}} \end{aligned}$$

The parking spaces will be ten (10) feet wide and twenty (20) feet long with ten (10) being on the east side of the building, and five (5) on the west side. The applicant is also providing one (1) barrier free parking space that is twelve (12) feet wide and twenty (20) feet long, and one (1) loading loading/unloading area that is ten (10) feet wide and fifty-five (55) feet long. There will be a total of seventeen (17) parking spaces.

All driveways and parking areas shall be surfaced asphalt or concrete. The Planning Commission has the option to waive this requirement if driveways, loading or turnaround or storage areas receive only limited use and are not used for employee parking, customer parking, or primary access, gravel surfacing and potential problems arising from dust or scattered gravel will not impact neighboring properties, and hard surfacing will significantly increase stormwater runoff and create a potential for flooding and/or soil erosion.

Islands should be placed at the end of each parking bay to separate parking areas from drive areas.

Items to be Addressed:

- 1) Update note on Sheet 3 to say 10 parking spaces, instead of 5.*
- 2) Driveways and parking areas shall be asphalt or concrete.*
- 3) Add parking islands to the end of parking bays.*

LANDSCAPING

No landscaping plan has been provided. There is a note on Sheet 5 stating that the applicant will install landscaping and seed, but the site plan appears to indicate that the entire site except the detention pond will be gravel. As noted above, the applicant will need to provide screening for any storage proposed outside of the structure. Landscaping requirements are noted in **Table 3** are representative of the entire site.

Table 3. Landscaping Requirements

| Landscaped Area | Requirement | Factor | Required | Provided |
|-----------------------------------|--------------------------------------------------------|------------------------------|------------|----------|
| Front Yard along Grand River Ave. | 1 deciduous shade or evergreen tree per 40 lineal feet | $(555.12 / 40 = 13.8)$ | 14 trees | 0 trees |
| | 1 ornamental tree per 100 lineal feet | $(555.12 / 100 = 5.5)$ | 6 trees | 0 trees |
| | 8 shrubs per 40 ft. | $((555.12 / 40) * 8 = 111)$ | 111 shrubs | 0 shrubs |
| Foundation Plantings | 1 ornamental tree per 35 lineal feet | $(480.93 / 35 = 13.7)$ | 14 trees | 0 trees |
| | 5 shrubs per 35 lineal feet | $((480.93 / 35) * 5 = 68.7)$ | 69 shrubs | 0 shrubs |
| Retention Pond Plantings | 1 deciduous shade or evergreen tree per 50 lineal feet | $(600 / 50) = 12$ | 12 trees | 0 trees |
| | 10 shrubs per every 50 lineal feet | $((600 / 50) * 10 = 120)$ | 120 shrubs | 0 shrubs |

The applicant is required to have foundation plantings along the building frontage that faces the road according to Section 28.03.A.4.

The applicant plans on removing fourteen (14) maple trees that range from twelve (12) inches to thirty-six (36) inches in caliper sizes as shown on Sheet 2. The trees are being removed for a proposed water retention pond shown on Sheets 3, 4, and 5. The applicant did not provide how many feet the perimeter of the proposed pond is. Required detention pond landscaping calculations are based on the perimeter measurement.

The applicant proposes two (2) fences, a six (6) foot tall opaque fence along Grand River Ave. and a four (4) foot tall chain linked fence around the retention pond shown on Sheets 3 and 4. Fences are not allowed in the front yard setback. There is also an existing chain linked fence at an unspecified height on Sheets 3 and 4 as well. Chain linked fences are not allowed to be used as obscuring fences. Sheet 5 shows a different fence proposal showing a slit fence with an unknown height all around the site. The applicant shall specify which fence is being proposed.

Items to be Addressed:

- 1) *The applicant shall provide a landscape plan that meets the standards of Article 28.*
- 2) *The applicant shall specify how many feet the perimeter of the retention pond is.*
- 3) *The applicant shall specify which fence will be proposed.*

LIGHTING

The applicant proposes adding two (2) 100-Watt wall pack lights, two (2) 60-watt carriage lights, and two (2) 100-watt flood lights with motion sensors. The lighting locations are shown on Sheet 2.

The lighting should be shielded from other properties, and it appears that the wall pack lights, and the flood lights will not be shielded. The wall pack lights could affect drivers along Grand River due to their location. The applicant shall choose light fixtures that will be downward facing and fully shielded from adjacent properties and the roadway.

Items to be Addressed: *The applicant shall provide light fixtures that are down directed and fully shielded from adjacent properties and Grand River Ave.*

SIGNS

The site plan does not indicate any signage proposed on the site.

If added, signs will require a separate permit from the Zoning Administrator. A sign application must be filed with the Zoning Administrator, at which time the zoning administrator will determine if the signs meet the requirements of the ordinance.

Items to be Addressed: *None.*

TRASH ENCLOSURE

The applicant proposes a trash enclosure behind the main building next to the loading and unloading area. There is no other information about the enclosure.

Items to be Addressed: *The applicant shall provide details on the trash enclosure that demonstrate compliance with Section 14.21.*

FLOOR PLAN & BUILDING ELEVATIONS

The applicant has not provided any floor plans or building elevations. These will be required at the final site plan review.

Items to be Addressed: *None.*

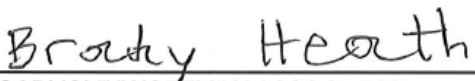
RECOMMENDATIONS

The preliminary site plan does not comply with the requirements set forth in the Zoning Ordinance. The following item(s) should be addressed prior to the Planning Commission taking action on the preliminary site plan:

1. The applicant shall provide more information on what will be stored on site.
2. The applicant shall provide the building height and the lot coverage.
3. The applicant needs approval from the Planning Commission to have storage outside of the structure.
4. Provide approval from the Livingston County Road commission for the existing access points.
5. Provide proposed location for outdoor storage areas and a circulation plan.
6. Move utility pole.
7. Update note on Sheet 3 to say 10 parking spaces, instead of 5.
8. Driveways and parking areas shall be asphalt or concrete.
9. Add parking islands to the end of parking bays.
10. The applicant shall provide a landscape plan that meets the standards of Article 28.
11. The applicant shall specify how many feet the perimeter of the retention pond is.
12. The applicant shall specify which fence will be proposed.
13. The applicant shall provide light fixtures that are down directed and fully shielded from adjacent properties and Grand River Ave.
14. The applicant shall provide details on the trash enclosure that demonstrate compliance with Section 14.21.

Please contact us with any questions or concerns.


CARLISLE/WORTMAN ASSOC., INC.
Paul Montagno, AICP
Principal


CARLISLE/WORTMAN ASSOC., INC.
Brady Heath
Community Planner

#PC-2025-22

cc: Jonathan Hohenstein, Township Zoning Administrator

September 26, 2025

Jonathan Hohenstein
Howell Township
3525 Byron Road
Howell, MI 48855

RE: Haslock Properties
3590 Grand River Avenue
Howell, MI 48843
Preliminary Site Plan Review

Mr. Hohenstein,

We have received and reviewed the preliminary site plan for the proposed Haslock Properties at 3590 Grand River Avenue Howell, MI 48843. The plans were prepared by ACE Civil Engineering, are dated August 28, 2025 and were received on September 10, 2025. Based on our review, we offer the following comments:

General

The cover sheet includes the name of the project, the names and addresses of the owners, and the name and address of the firm/person who prepared the plans. In addition, the cover sheet provides a vicinity map clearly showing the project location and includes the date the plans were prepared. These items satisfy the requirements for cover sheet content.

The Existing Conditions Sheet (Sheet 2) includes all of the required information. All property lines are shown, and the zoning of the adjacent properties is included. The adjacent road, Grand River Avenue, is clearly identified. Topographical contours at one-foot intervals are provided. The locations of all existing buildings and all trees greater than six inches in diameter are identified, and the existing utilities are shown.

The front setback is listed as 70 feet on the plan but is only required to be 50 from the Grand River Avenue right of way. However, the plans indicate that a portion of the proposed outside storage area is located within required front and side yard setbacks. The Howell Township Zoning Ordinance (IFZ District) permits outdoor storage only if it is fully enclosed and screened from view; however, outdoor storage is not permitted within required setback areas. Please revise the plans to relocate all outdoor storage areas outside of the required setbacks.

Grading and Drainage

Currently the site drains by sheet flow generally to the north.

The proposed drainage plan divides the site into three drainage areas which are graded to direct stormwater to one of four proposed catch basins which outlet into a retention pond in the northeast corner of the site.

Calculations have been provided demonstrating that the proposed basin is sized to capture runoff from 2 inches of rainfall over the tributary area. Infiltration calculations have also been submitted showing that

the basin will dewater within the required maximum period of 72 hours. These calculations will be further evaluated as part of the final site plan review.

Two 12-foot-wide gates are proposed to provide maintenance access.

An overflow route from the proposed retention basin has not been provided on the plans. An overflow route is required to demonstrate safe conveyance of flows in the event the basin exceeds its design capacity. The plans must indicate the elevations of surrounding buildings, development, or other features that could be impacted by overflow. The overflow route shall be designed so that it does not endanger any existing structures, and drainage easements may be required to accommodate this overflow path.

The proposed retention basin design does not include the required infiltration gallery. Per LCDC design criteria, retention basins must incorporate an infiltration gallery consisting of a minimum of two (2) standpipes connected by horizontal perforated plastic pipe (minimum 12-inch diameter) bedded in stone trenches at least two feet below the designed basin bottom elevation. The infiltration gallery should cover at least 50% of the basin floor area to ensure adequate infiltration and dewatering. The plans should be revised to include this feature.

Sanitary Sewer

It appears that the existing sanitary leads will be utilized in the proposed plans, there is no indication of improvements made to the sanitary network. The leads follow the same orientation as the existing conditions and are not labeled as proposed or existing on the utility sheet.

Site Access and Paving

The limits of the gravel surface are not defined.

The site plan shows proposed parking stalls, including an ADA-designated space, on gravel pavement. Gravel is not a permitted pavement surface for required off-street parking in Howell Township. In accordance with Article XVIII (Off-Street Parking, Loading and Unloading Requirements) of the Howell Township Zoning Ordinance, all required parking areas, including ADA spaces, must be surfaced with asphalt or concrete to provide a durable, dust-free, and all-weather surface. ADA compliance standards further require a stable, firm, and slip-resistant surface for accessible parking stalls, which gravel does not meet. Please revise the plans to provide paved asphalt or concrete surfacing for all required parking spaces.

Water main

The site plan does not show a connection to a public watermain or the provision of any fire hydrants. An approved water supply capable of delivering the required fire flow must be provided for all new developments. Fire hydrants, or an alternative approved fire protection water supply, must be located within the required distance of all proposed buildings and facilities, subject to review and approval by the Howell Township Fire Marshal.

Further comments on the water main are deferred to MHOG.

Parking and Landscaping

Parking calculations were provided. Further comments on parking and landscaping are deferred to the Township Planner.

September 26, 2025
3 of 3

Site Lighting

Please provide a photometric plan for the proposed site lighting to demonstrate compliance with Howell Township Ordinance requirements.

Recommendations

Should the Planning Commission decide to proceed with approval of this project, we recommend the following conditions be placed with approval:

1. Plans should be reviewed and approved by:
 - a. Fire Marshal
 - b. Township Planner
 - c. Livingston County Drain Commissioner
 - d. Livingston County Road Commission
2. Relocate all outdoor storage areas outside the required front and side yard setbacks
3. Revise the retention basin to provide an overflow route.
4. Revise the basin to include an infiltration gallery.
5. Delineate the full limits of the proposed gravel surface on the plans.
6. Replace gravel parking with asphalt or concrete for all required spaces, including ADA stalls.
7. Provide photometric plan.

If you have any questions or need anything further, please feel free to contact our office.

Sincerely,



Adam C. Jacqmain
Design Engineer

Phone: (989) 598-6196
adamj@spicergroup.com



Philip A. Westmoreland, P.E.
Principal

Phone: (517) 375-9449
philaw@spicergroup.com

SPICER GROUP, INC.

30300 Telegraph Rd, Suite 100
Bingham Farms, MI 48025

CC: SGI File
Jonathan Hohenstein, Howell Township Planner
Ken Recker, Livingston County Chief Deputy Drain Commissioner
Kim Hiller, Livingston County Road Commission
Paul Montagno, Carlisle Wortman
Bryan Hager, Howell Township Fire Inspector

RE: 3590 W. Grand River - Project

From Kim Hiller <khiller@livingstonroads.org>

Date Mon 9/29/2025 8:44 AM

To Howell Township Treasurer <treasurer@howelltownshipmi.org>

Jonathan,

It does not appear as though any improvements are proposed within the Grand River Road right-of-way, therefore, a permit from this office is not necessary. The engineer or owner may need to apply for a commercial driveway approach waiver from our office to satisfy any Township requirements and to obtain a building permit.

Thank you,

Kim Hiller, P.E.

Utilities and Permits Engineer

Livingston County Road Commission

3535 Grand Oaks Drive

Howell, MI 48843

Ph. (517) 546-4250 Ext. 139

Office Hours: M-F 7:00 AM – 3:30 PM

From: Howell Township Treasurer <treasurer@howelltownshipmi.org>

Sent: Monday, September 29, 2025 7:26 AM

To: Kim Hiller <khiller@livingstonroads.org>

Subject: 3590 W. Grand River - Project

Kim,

Please find attached the drawings for Haslock Properties at 3590 W. Grand River Ave., along with our engineer's review.

Thanks,
Jonathan

Howell Township Treasurer

Howell Township Zoning Administrator

treasurer@howelltownshipmi.org

517-546-2817

HASLOCK PROPERTIES, LLC

SECTION , T3N-R4E, HOWELL, TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

| <u>NO.</u> | <u>TITLE</u> |
|------------|-------------------------------|
| 1 | COVER SHEET |
| 2 | EXISTING CONDITIONS/DEMO PLAN |
| 3 | SITE PLAN |
| 4 | GRADING PLAN |
| 5 | SESC – DRAINAGE AREA PLAN |

SEC 28 T3N R4E BEG AT N 1/4 COR OF SEC 28, TH S00°21'00"E 381.78 FT TO POB, TH CONT S00°21'00"E 568.04 FT TO CENTER OF GRAND RIVER, TH N51°56'49"W 555.12 FT, TH N28°09'25"E 446.72 FT, TH S52°59'27"E 279.07 FT TO THE POB. SPLIT FROM 004, 9-87. LEGAL CORRECTED 12/22/99 FROM SURVEY DATED 12/14/99

| | |
|-------------------------------------------------------------------------------------|-----------------------------------|
|  | DRAINAGE FLOW |
|  | LIGHT POLE |
|  | SIGN |
|  | UTILITY POLE |
|  | CATCH BASIN |
|  | MANHOLE |
|  | GATE VALVE IN WELL |
|  | HYDRANT |
|  | PROPOSED SPOT ELEVATION |
| x 791.87 | EXISTING SPOT ELEVATION |
|  | MAJOR CONTOUR - 5 FT. INTERVAL |
|  | MINOR CONTOUR - 1 FT. INTERVAL |
|  | FENCE LINE |
|  | EXISTING STORM SEWER |
|  | EXISTING SANITARY SEWER (GRAVITY) |
|  | EXISTING WATER MAIN |
|  | GAS MAIN |
|  | TELEPHONE LINE |
|  | UNDERGROUND TELEPHONE LINE |
|  | ELECTRIC LINE |
|  | UNDERGROUND ELECTRIC LINE |
|  | OVERHEAD ELECTRIC LINE |
|  | DECIDUOUS TREE |
|  | CONIFEROUS TREE |
|  | TREE & BRUSH LINE |

A map showing the area around the Livingston County Airport. Grand River Avenue runs diagonally from the top left to the bottom right. The airport is a large, irregularly shaped area in the upper right. A line points to a specific location on Grand River Avenue, labeled "SITE". Below the site, a road curves from the bottom left towards the right, labeled "I-98". Further to the right, another road is labeled "M-59".



HASLOCK PROPERTIES, LLC
3590 GRAND RIVER AVENUE
LANSING, MI 48202

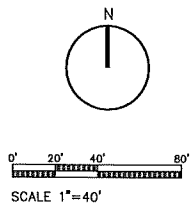
COVER SHEET

ACE
CIVIL
ENGINEERING

| | |
|-------------|----------|
| DATE: | 08-28-25 |
| DRAWN BY: | PCK |
| CHECKED BY: | PCK |
| JOB NO. | 21006 |

DRAWING No. _____

PARKING CALCULATIONS:
INDUSTRIAL USE:
REQUIRED PARKING SPACES = 1 SPACE PER 550 SF OF BUILDING = 8014 SF BUILDING / 550 SF = 15 SPACES
REQUIRED LOADING/UNLOADING = 1 SPACE REQUIRED
REQUIRED BARRIER FREE SPACE = 1 SPACE REQUIRED
PARKING SPACES PROVIDED = 15 SPACES PLUS 1 BARRIER FREE PLUS 1 LOADING/UNLOADING



GENERAL NOTES:

- #1 NO LANDSCAPE PLANTINGS ARE PROPOSED AS PART OF THE SITE PLAN IMPROVEMENTS. ALL AREAS THAT ARE DISTURBED DURING CONSTRUCTION THAT ARE NOT COVERED BY BUILDINGS, PAVEMENT OR GRAVEL SHALL BE RESTORED WITH TOPSOIL AND GRASS SEED.
- #2 NO ADDITIONAL LIGHTING IS PROPOSED AS PART OF THE SITE PLAN IMPROVEMENTS. AS A RESULT NO ADDITIONAL INCREASE IN LIGHTING WILL OCCUR ON ADJACENT PROPERTIES.

LEGEND

- DRAINAGE FLOW
☆ LIGHT POLE
+ SIGN
○ UTILITY POLE
■ CATCH BASIN
○ MANHOLE
⊗ GATE VALVE IN WELL
⊕ HYDRANT
177-911.7 x 791.87
990
992
x FENCE LINE
— EXISTING STORM SEWER
— EXISTING SANITARY SEWER (GRAVITY)
— W— EXISTING WATER MAIN
— G— GAS MAIN
— T— TELEPHONE LINE
— UGT— UNDERGROUND TELEPHONE LINE
— E— ELECTRIC LINE
— UGE— UNDERGROUND ELECTRIC LINE
— OHE— OVERHEAD ELECTRIC LINE
● DECIDUOUS TREE
☼ CONIFEROUS TREE
☼ TREE & BRUSH LINE
—935— PROPOSED CONTOUR

ZONED IFZ

4706-28-100-065
GRAND ATOMA ASSOCIATES LLC
PO BOX 159
GAYLORD, MI. 49734

ZONED IFZ

4706-28-100-027
52 METROPLEX, LLC
13701 WHITE TAIL RUN
MILFORD, MI. 48380

ZONED IFZ

4706-28-100-008
NORTH WINDS INVESTMENT CORP.
3575 W. GRAND RIVER
HOWELL, MI. 48855

ZONED RT

4706-21-300-026
LIVINGSTON COUNTY AIRPORT
3399 COUNTY AIRPORT DRIVE
HOWELL, MI. 48843

ZONED RT

4706-21-300-026
LIVINGSTON COUNTY AIRPORT
3399 COUNTY AIRPORT DRIVE
HOWELL, MI. 48843

LEGAL DESCRIPTION:

PART OF SECTION 28, T3N R4E, HOWELL TOWNSHIP, BEGINNING AT THE NORTH 1/4 CORNER OF SAID SECTION 28, THENCE S00°21'00"E 381.78 FEET TO THE POINT OF BEGINNING, THENCE CONTINUING S00°21'00"E 568.04 FEET TO THE CENTER OF GRAND RIVER AVENUE, THENCE N51°56'49"W 555.12 FEET, THENCE N28°09'25"E 446.72 FEET, THENCE S52°59'27"E 279.07 FEET TO THE POINT OF BEGINNING. CONTAINING 4.25 ACRES MORE OR LESS

ZONED IFZ - INDUSTRIAL FLEX ZONE

AREA REQUIRED = 2.0 ACRES

AREA PROVIDED = 4.25 ACRES

LOT WIDTH REQUIRED = 120 FEET

LOT WIDTH PROVIDED = 480.93 FEET

FRONT SETBACK REQUIRED = 70 FEET

FRONT SETBACK PROVIDED = 100.2 FEET

SIDE SETBACK REQUIRED = 10 FEET MIN / 25 FEET TOTAL

SIDE SETBACK PROVIDED = 60.5 FEET & 99.5 FEET / 160.0 FEET TOTAL

REAR SETBACK REQUIRED = 35 FEET

REAR SETBACK PROVIDED = 88.7 FEET

MAXIMUM BUILDING HEIGHT ALLOWED = 70 FEET

MAXIMUM BUILDING HEIGHT PROPOSED = 24 FEET

MAXIMUM LOT COVERAGE ALLOWED = 75% (3.18 ACRES)

LOT COVERAGE PROPOSED = 11.52% (0.49 ACRES)

SITE OPERATIONS:

- #1 THE EASTERN BUILDING SHALL BE OCCUPIED BY THE JUSTICE FENCE COMPANY AND SHALL USE THE OUTSIDE STORAGE AREA AS SHOWN ON THE SITE PLAN BY THE CROSS HATCHED AREA FOR THE STORAGE OF FENCE MATERIALS.
- #2 THE WESTERN BUILDING SHALL BE OCCUPIED BY THE HASLOCK TRUCKING COMPANY AND SHALL BE USED FOR LOGISTIC OPERATIONS PERTAINING TO DAILY TRUCKING OPERATIONS. TRUCKS SHALL BE PARKED AT TIMES ON SITE GENERALLY IN THE AREA LOCATED BEHIND THE BUILDING.
- #3 THE CONCRETE PARKING AREA SHALL BE USED IN GENERAL FOR EMPLOYEE PARKING.

HASLOCK PROPERTIES, LLC
3590 W. GRAND RIVER AVENUE
HOWELL, MI. 48843

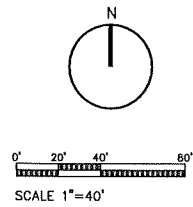
SITE PLAN

ACE
CIVIL
ENGINEERING
2052 Lindenway, Farmington, MI. 48336 517.545-4141 • acecivil@att.net

DATE: 08-28-25
DRAWN BY: PCK
CHECKED BY: PCK
JOB NO: 21006

ISSUING NO:

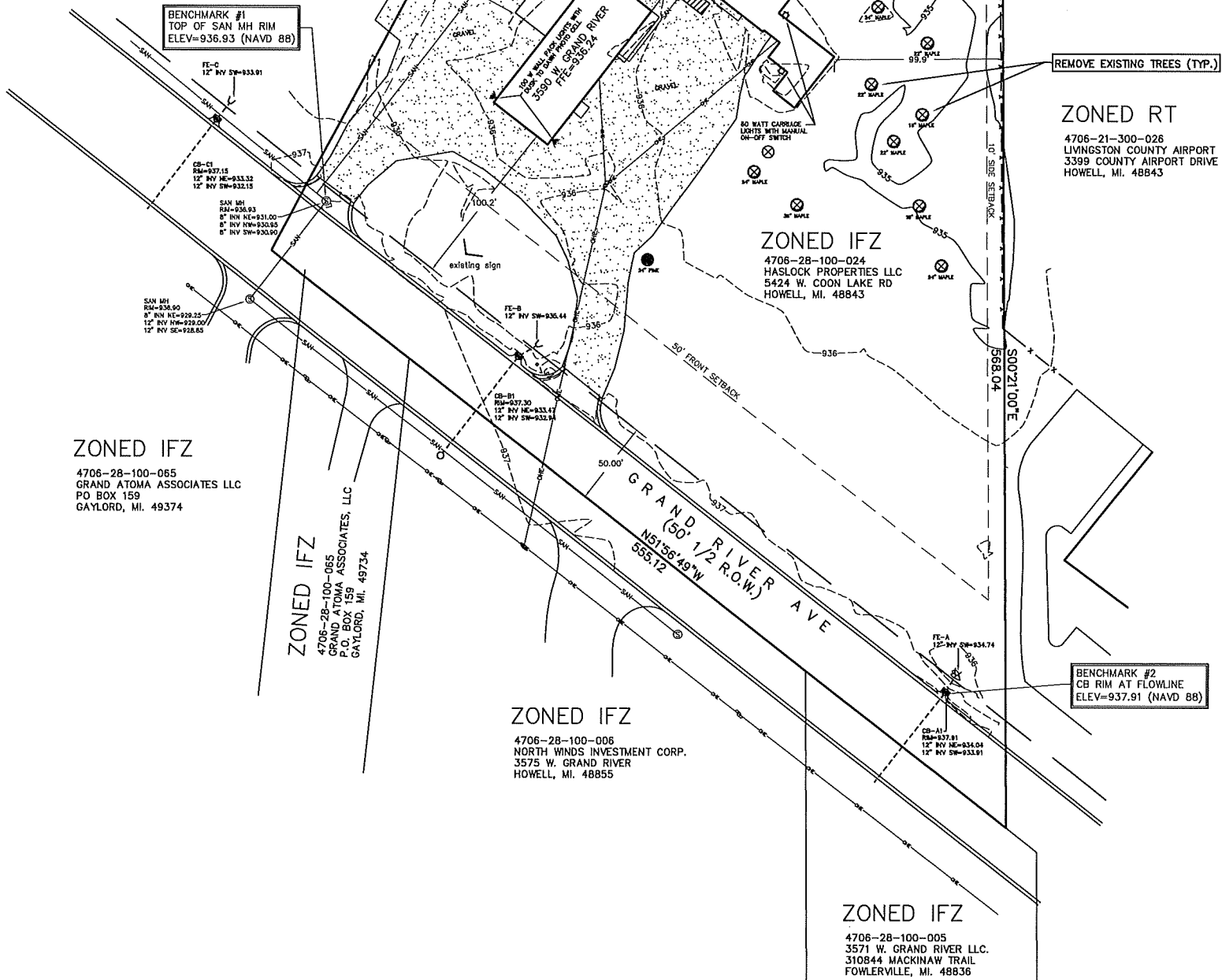
3



ZONED IFZ - INDUSTRIAL FLEX ZONE
AREA REQUIRED = 2.0 ACRES
AREA PROVIDED = 4.25 ACRES
LOT WIDTH REQUIRED = 120 FEET
LOT WIDTH PROVIDED = 480.93 FEET
FRONT SETBACK REQUIRED = 50 FEET
FRONT SETBACK PROVIDED = 100.2 FEET
SIDE SETBACK REQUIRED = 10 FEET MIN / 25 FEET TOTAL
SIDE SETBACK PROVIDED = 80.5 FEET & 99.5' FEET / 160.0 FEET TOTAL
REAR SETBACK REQUIRED = 35 FEET
REAR SETBACK PROVIDED = 88.7 FEET

ZONED IFZ

4706-28-100-027
52 METROPLEX, LLC
13701 WHITE TAIL RUN
MILFORD, MI. 48380



LEGAL DESCRIPTION:

PART OF SECTION 28, T3N R4E, HOWELL TOWNSHIP, BEGINNING AT THE NORTH 1/4 CORNER OF SAID SECTION 28, THENCE S00°21'00"E 381.78 FEET TO THE POINT OF BEGINNING, THENCE CONTINUING S00°21'00"E 568.04 FEET TO THE CENTER OF GRAND RIVER AVENUE, THENCE N51°56'49"W 555.12 FEET, THENCE N28°09'25"E 446.72 FEET, THENCE S52°59'27"E 279.07 FEET TO THE POINT OF BEGINNING. CONTAINING 4.25 ACRES MORE OR LESS

LEGEND

- DRAINAGE FLOW
- ☆ LIGHT POLE
- SIGN
- UTILITY POLE
- CATCH BASIN
- MANHOLE
- GATE VALVE IN WELL
- ✱ HYDRANT
- 791.87 PROPOSED SPOT ELEVATION
- 990 EXISTING SPOT ELEVATION
- 992 MAJOR CONTOUR - 5 FT. INTERVAL
- 992 MINOR CONTOUR - 1 FT. INTERVAL
- FENCE LINE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER (GRAVITY)
- EXISTING WATER MAIN
- GAS MAIN
- TELEPHONE LINE
- UGT UNDERGROUND TELEPHONE LINE
- E ELECTRIC LINE
- UGE UNDERGROUND ELECTRIC LINE
- OHE OVERHEAD ELECTRIC LINE
- DECIDUOUS TREE
- ✱ CONIFEROUS TREE
- ☁ TREE & BRUSH LINE

| REVISIONS: |
|--------------------------------------------------|
| 11/02/25 REISED PER TOWNSHIP CONSULTANT COMMENTS |
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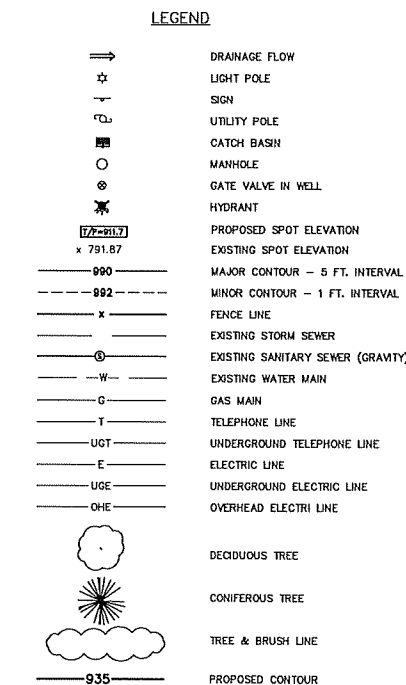
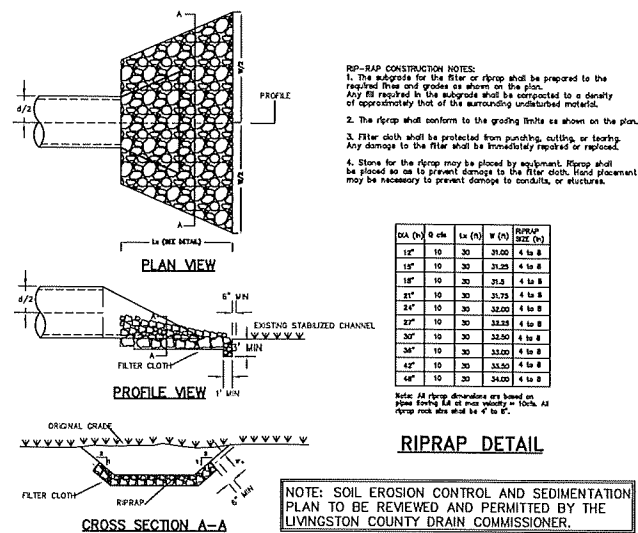
OWNED/ELEVATOR:
HASLOCK PROPERTIES LLC
5424 W. COON LAKE RD
HOWELL, MI. 48843
517-202-0148

HASLOCK PROPERTIES, LLC
3590 W. GRAND RIVER AVENUE
HOWELL, MI. 48843
EXISTING CONDITIONS - DEMO PLAN

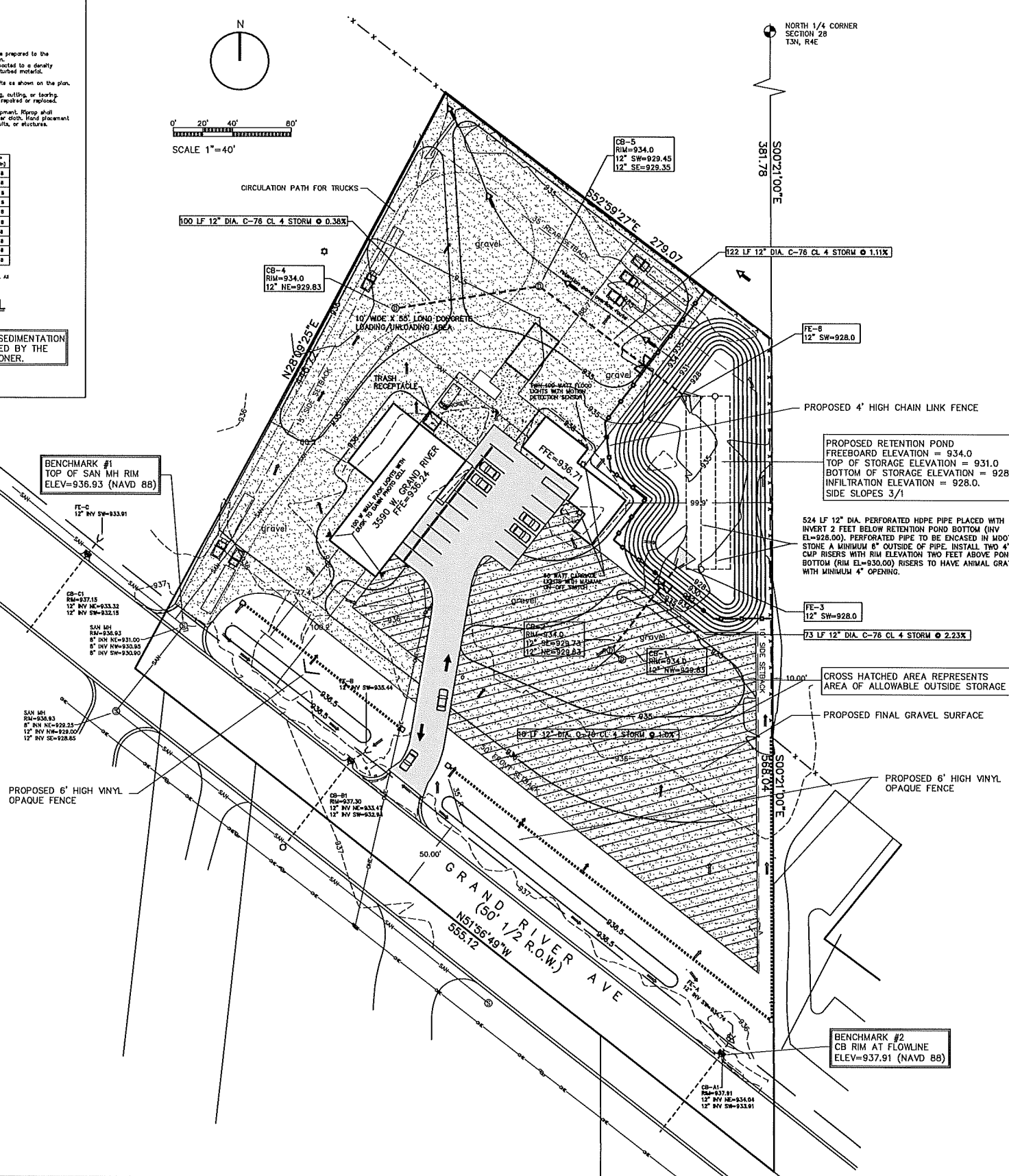
ACE
CIVIL
ENGINEERING
2025 Underscore, Fowlerville, MI. 48836 317 345-1141 • ce@acecivil.com

DRAWN BY:
PCK
CHECKED BY:
PCK
DATE:
21006

DRAWING NO.



| STORM SEWER TABLE | | | | | | | | | | | | | | | | | | | |
|---------------------------------|-------------------------------|---------------------------|------|-------------------------------------------|--------------------------------------|-------------------|----------------------------|-----------------------|-------------------------------|--------------------|-------------------------|-----------------------------|---------------------------------------|----------------------------|----------------------------|---------------------------|------------------------------|------------------------------|--------------------------|
| FROM MH CB OR INLET | TO MH CB OR INLET | INCREMENT ACRES "A" | "C" | EQUIVALENT AREA 100% ACRES CA | TOTAL AREA 100% ACRES CA | T TIME MIN. | I INCHES PER HOUR | Q C.F.S. C.I.A. | DIAMETER OF PIPE IN. | SLOPE PIPE % | SLOPE HYDRAULIC % | LENGTH OF LINE FT. | VELOCITY FLOW 10' PER FT/SEC | TIME OF FLOW MIN. | PIPE CAPACITY C.F.S. | H.G. ELEV UPPER END | UPPER INVERT ELEVATION | LOWER INVERT ELEVATION | FROM RIM ELEVATION |
| CB-1 | CB-2 | 0.865 | 0.70 | 0.61 | 0.61 | 15 | 4.38 | 2.67 | 12 | 1.0 | 0.56 | 10 | 6.4 | 0.01 | 5.03 | 931.06 | 929.83 | 929.73 | 934.0 |
| CB-2 | FE-3 | 0.865 | 0.70 | 0.61 | 1.22 | 15.01 | 4.38 | 5.33 | 12 | 2.23 | 2.24 | 73 | 6.8 | 0.18 | 5.33 | 932.70 | 929.63 | 928.0 | |
| | | | | | | | | | | | | | | | | | | | |
| CB-4 | CB-5 | 0.72 | 0.70 | 0.50 | 0.50 | 15 | 4.38 | 2.19 | 12 | 0.36 | 0.38 | 100 | 2.8 | 0.59 | 2.19 | 932.86 | 929.83 | 929.45 | 934.0 |
| CB-5 | FE-6 | 0.58 | 0.70 | 0.40 | 0.91 | 15.59 | 4.31 | 3.92 | 12 | 1.11 | 1.21 | 122 | 5.0 | 0.41 | 3.92 | 932.48 | 929.35 | 928.0 | 934.0 |



MANHOLE, CATCH BASIN AND INLET NOTES

1. THE JOINTS AROUND THE INSIDE CIRCUMFERENCE OF THE STRUCTURE SHALL BE POINTED WITH CEMENT MORTAR.
2. ALL HOLES PROVIDED FOR LIFTING AND HANDLING SHALL BE FILLED WITH MORTAR AND MADE WATERTIGHT.
3. MANHOLE STEPS SHALL BE ASPHALT-COATED CAST IRON (EAST JORDAN B500) OR STEEL REINFORCED, HIGH DENSITY POLYPROPYLENE PLASTIC (M. A. INDUSTRIES PS-1-PF) MEETING CURRENT OSHA REQUIREMENTS. THE STEPS SHALL BE A MINIMUM OF 10" WIDE AND SHALL BE INSTALLED DURING MANHOLE MANUFACTURE. PLACE STEPS AT 16" ON CENTER AND AT 45' FROM THE SEWER.

RETENTION POND CALCULATIONS:

SITE AREA = 3.63 ACRES

VOLUME REQUIRED $V_{req} = 3.63 \text{ ac} \times 43560 \text{ sf/ac} \times 2' / 12" = 26,354 \text{ cf}$

VOLUME PROVIDED = 26, 513 CF PLUS 3 FEET OF FREEBOARD

| ELEVATION | SURFACE AREA | VOLUME | TOTAL VOLUME |
|-----------|--------------|--------|---------------|
| 928 | 6967 | 7575 | 7575 |
| 929 | 8182 | 8818 | 16,393 |
| 930 | 9455 | 10120 | <u>26,513</u> |
| 931 | 10784 | | |

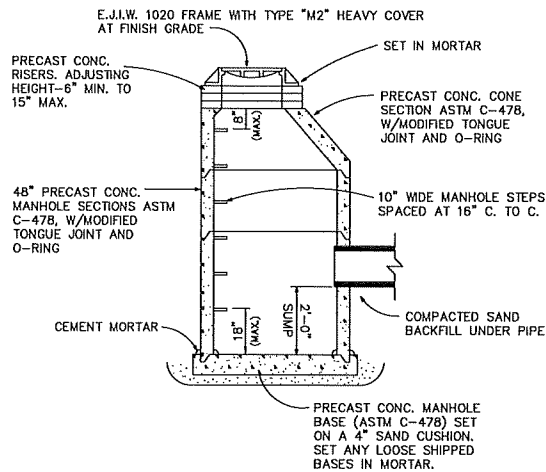
INFILTRATION REQUIREMENTS:

BOTTOM OF POND IS MIXTURE OF SANDY CLAY LOAM WITH DESIGN AVERAGE
IN-SITU INFILTRATION RATE OF 0.75"/HR.

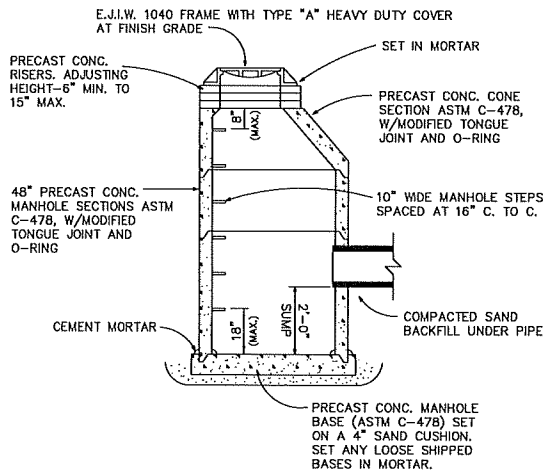
BOTTOM OF POND AT ELEVATION 928 WITH SURFACE AREA = 6967 SF.

MUST INFILTRATE V_{req} (26,354 cf) IN LESS THAN 72 HOURS.

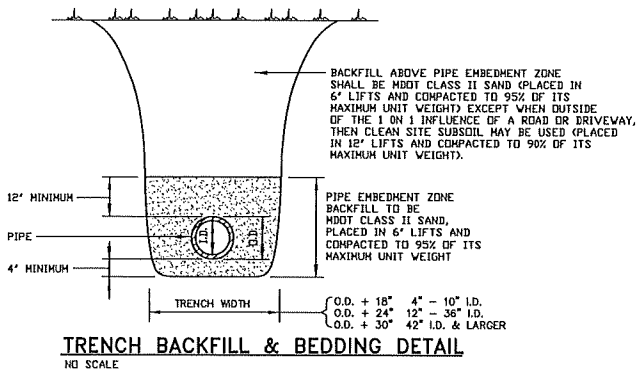
TIME TO INFILTRATE = $26,354 \text{ CF} / ((0.75"/\text{HR} \times 12"/\text{FT}) \times 6967 \text{ SF}) = 60.5 \text{ HOURS}$

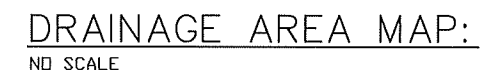
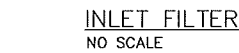


FOUR FOOT DIA. STORM MANHOLE
NO SCALE



FOUR FOOT DIA. STORM MANHOLE
NO SCALE





1. All erosion and sediment control work shall conform to standards and specifications of the Livingston County Drain Commissioner.
2. Daily inspections shall be made by Contractor for effectiveness of erosion and sedimentation control measures, and when necessary, repairs shall be performed without delay.
3. Erosion and any sedimentation from work on this site shall be contained on the site and not allowed to collect on any off-site areas or in waterways.
4. Contractor shall apply temporary erosion and sedimentation control measures as shown on these plans in the following sequence:
 - * Install silt fence (INSPECT AS NEEDED)
 - * Install Tracking Mat
 - * Construct Retention Pond
 - * Install storm sewer and inlet filters
 - * Grade and Gravel Parking
 - * Install New Fencing
 - * Landscape and Seed
 - * Remove temporary SESC measures
5. The Contractor shall preserve natural vegetation as much as possible.
6. All areas disturbed during construction shall be restored with 3" (min.) of topsoil, seeded and mulched.
7. All common areas (detention/sediment basins, drainage easements, boulevards, etc.) shall be stabilized within 15 days after grade work.

[illegible]

MAINTENANCE SCHEDULE

1. CONTRACTOR SHALL CHECK SILT FENCE EVERY WEEK, AND SHALL MAKE REPAIRS AS NECESSARY.
2. CONTRACTOR SHALL CHECK INLET FILTERS WITHIN ONE DAY AFTER A STORM, AND SHALL REPAIR AND CLEAN AS NECESSARY.
3. CONTRACTOR SHALL CHECK SILT TRAPS WITHIN ONE DAY AFTER A STORM, AND SHALL CLEAN AS NECESSARY.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: December 11, 2025

Site Plan Review For Howell Township, Michigan

Applicant: Dakota Haslock, Haslock Properties LLC

Project Name: Storage

Plan Date: August 28, 2025

Revision Date: November 17, 2025

Location: 3590 W Grand River Ave.
(Parcel #4706-28-100-024)

Zoning: IFZ – Industrial Flex Zone

Action Requested: Preliminary Site Plan Approval

PROJECT AND SITE DESCRIPTION

The applicant has submitted a Preliminary Site Plan, dated August 28, 2025, and submitted a revised site plan on November 17, 2025, for a proposed outdoor storage and truck yard. The site is located southwest of the Livingston County Airport along Grand River Ave. Contractor equipment and materials storage yards for building and other types of construction are permitted in the IFZ district with the requirement that any area used for outdoor storage is completely enclosed and screened from external visibility beyond such storage area per Section 12.02. L. The applicant shall provide more information on what will be stored on the property.

The approximately 4.25-acre subject site currently has two (2) existing buildings along with trees in the northwest corner. The applicant plans on reusing the buildings, reconfiguring the parking

Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Principal*
Richard K. Carlisle, *Past President/Senior Principal*

lot, adding parking spaces for semi-trucks, and a retention pond to the northeast corner of the site.

The site is bordered by industrial buildings to the south, Livingston County Airport to the north, industrial buildings to the west and a vacant parcel to the east. **Figure 1** provides an aerial image of the site.

Figure 1. Aerial Image of Subject Site and Vicinity



Source: Near Map, July 2025

Items to be Addressed: The applicant shall provide more information on what will be stored on site.

NATURAL FEATURES

The site has no woodlands or water features. There are fourteen (14) maple trees that have calipers between twelve (12) and thirty-six (36) inches that the applicant is planning to remove as shown on Sheet 2. These trees will be removed for a proposed retention pond as shown on Sheets 3,4, and 5.

EGLE's Wetlands Map Viewer shows an area which includes wetlands adjacent to northern property line outside of the site. This is an identified wetland on the National Wetlands Inventory

(NWI) or Michigan Resource Inventory System (MIRIS) maps. No impacts are proposed to this wetland.

Items to be Addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

Table 2 summarizes the lot size, lot width building height, setback requirements, and lot coverage found schedule of regulations table in Section 3.17 in the Zoning Ordinance.

Table 2. Density, Placement, and Height Regulations

| Standard | Required | Provided | Complies |
|-------------------|------------------------------------------------------|--------------------------------------|----------|
| Total Parcel Size | 2 acres | 4.25 acres | Yes |
| Lot Width | 200 feet or 120 feet with public water and sewer | 480.93 feet | Yes |
| Building Height | 70 feet | 24 feet | Yes |
| Front Setback | 50 feet | 100.2 feet | Yes |
| Side Setback | 10, minimum both side yard setbacks total of 25 feet | West – 99.9 feet East – 60.5 feet | Yes |
| Rear Setback | 35 feet | 88.7 feet | Yes |
| Lot Coverage | Max 75% | 11.2% | Yes |

Items to be Addressed: None.

SITE ACCESS AND CIRCULATION

There are two (2) existing access points along W. Grand River Ave., one (1) on the east side of the buildings, and one (1) on the west side of the buildings. While these are existing the Livingston County Road Commission should comment if permits are needed for the new use. The applicant states that they will submit the plans to LCRC.

The cross-hatched areas on Sheet 3 shows where the outside storage is proposed. The applicant shall provide information on what will be stored on site.

We defer to Engineering and the Fire Chief for further consideration.

Items to be Addressed: Provide approval from the Livingston County Road commission for the existing access points.

PARKING, LOADING

Section 18.02 requires Industrial Uses to provide one (1) parking space for every employee working during the largest working shift, or one (1) space for every 550 square feet of total floor space, whichever is greater. The applicant provided parking spaces based on the square footage of the building shown on Sheet 3.

$$\begin{aligned} &8,014 \text{ square feet of building} / 550 \text{ square feet} \\ &= \mathbf{15 \text{ total required parking spaces}} \end{aligned}$$

The applicant has provided fifteen (15) parking spaces on the east side of the building. The applicant is also providing one (1) barrier free parking space, and one (1) loading/unloading area located behind the main building. All parking spaces meet the dimensional requirements of the Zoning Ordinance.

There are three (3) semi-truck parking spaces at the northern edge of the site behind the building. Two (2) of the three (3) parking spaces are within the rear yard setback. According to Section 18.02.E.1. All off-street parking spaces shall not be closer than the required front, side, and rear yard setbacks in the zoning districts in which they are located to any property line. These spaces shall be moved outside of the rear yard setback.

The parking spaces on the east side of the building along with the driveway will be paved with asphalt or concrete. The loading area will be paved with concrete. The driveway and semi-truck parking spaces to the west will be gravel.

Sheet 4 of the site plan now depicts the parking area with a different color than the storage yard, however there is no key or label to identify the proposed surface type. A label on sheet 5 indicates that the surface is gravel. All driveways and parking areas shall be surfaced asphalt or concrete. The Planning Commission has the option to waive this requirement if driveways, loading or turnaround or storage areas receive only limited use and are not used for employee parking, customer parking, or primary access, gravel surfacing and potential problems arising from dust or scattered gravel will not impact neighboring properties, and hard surfacing will significantly increase stormwater runoff and create a potential for flooding and/or soil erosion. This does not appear to be the case for the parking lot.

Islands should be placed at the end of each parking bay to separate parking areas from drive areas.

Items to be Addressed:

- 1) The semi-truck parking spaces need to be moved outside of the rear yard setback.*
- 2) Driveways and parking areas shall be asphalt or concrete.*
- 3) Add parking islands to the end of parking bays.*

LANDSCAPING

No landscaping plan has been provided. There is a note on Sheet 5 stating that the applicant will install landscaping and seed, but the site plan appears to indicate that the entire site except the detention pond will be gravel. Landscaping requirements are noted in **Table 3** are representative of the entire site.

Table 3. Landscaping Requirements

| Landscaped Area | Requirement | Factor | Required | Provided |
|-----------------------------------|--------------------------------------------------------|------------------------------|------------|----------|
| Front Yard along Grand River Ave. | 1 deciduous shade or evergreen tree per 40 lineal feet | $(555.12 / 40 = 13.8)$ | 14 trees | 0 trees |
| | 1 ornamental tree per 100 lineal feet | $(555.12 / 100 = 5.5)$ | 6 trees | 0 trees |
| | 8 shrubs per 40 ft. | $((555.12 / 40) * 8 = 111)$ | 111 shrubs | 0 shrubs |
| Foundation Plantings | 1 ornamental tree per 35 lineal feet | $(480.93 / 35 = 13.7)$ | 14 trees | 0 trees |
| | 5 shrubs per 35 lineal feet | $((480.93 / 35) * 5 = 68.7)$ | 69 shrubs | 0 shrubs |
| Retention Pond Plantings | 1 deciduous shade or evergreen tree per 50 lineal feet | $(600 / 50) = 12$ | 12 trees | 0 trees |
| | 10 shrubs per every 50 lineal feet | $((600 / 50) * 10 = 120)$ | 120 shrubs | 0 shrubs |

The applicant is required to have foundation plantings along the building frontage that faces the road according to Section 28.03.A.4.

The applicant plans on removing fourteen (14) maple trees that range from twelve (12) inches to thirty-six (36) inches in caliper sizes as shown on Sheet 2. The trees are being removed for a proposed water retention pond shown on Sheets 3, 4, and 5. The applicant did not provide how many feet the perimeter of the proposed pond is. Required detention pond landscaping calculations are based on the perimeter measurement.

The applicant proposes two (2) fences, a six (6) foot tall vinyl opaque fence around the site, and a four (4) foot tall chain linked fence around the retention pond shown on Sheets 3 and 4. According to Section 28.08.A.6., fences shall be constructed of redwood, cedar, or No. L pressure treated wood.

The applicant states that the site is being used as outdoor storage materials and truck parking where landscape plantings do not survive well. The site will be screened with a vinyl opaque fence, and providing landscaping within the fence will serve no practical purpose, so no landscaping will be proposed as a part of the site improvements.

The Planning Commission can modify the landscaping requirements based on Section 28.07.B. which states that parking, vehicular circulation, or land use is such that required landscaping would not enhance the site or result in the desired landscaping effect.

Items to be Addressed:

- 1) The applicant shall provide a landscape plan that meets the standards of Article 28.*
- 2) The applicant shall specify how many feet the perimeter of the retention pond is.*
- 3) The fence shall be constructed of redwood, cedar, or No. 1 pressure treated wood.*

LIGHTING

No additional lighting is being proposed at this time.

Items to be Addressed: None.

SIGNS

The site plan does not indicate any signage proposed on the site.

If added, signs will require a separate permit from the Zoning Administrator. A sign application must be filed with the Zoning Administrator, at which time the zoning administrator will determine if the signs meet the requirements of the ordinance.

Items to be Addressed: None.

TRASH ENCLOSURE

The applicant proposes a trash enclosure behind the western building next to the loading and unloading area. The applicant states that the dumpster will be screened by the building and a vinyl opaque fence on the other sides. The site plan does not show this. According to Section 14.21 in the Zoning Ordinance, all receptacle areas shall be enclosed by a six (6) foot wooden or masonry wall to prevent unsightly deposit or collection of solid waste.

Items to be Addressed: The trash enclosure shall be constructed of wood or masonry.

FLOOR PLAN & BUILDING ELEVATIONS

The applicant has not provided any floor plans or building elevations. These will be required at the final site plan review.


Items to be Addressed: None.

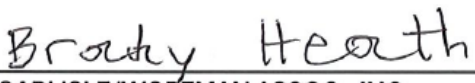
RECOMMENDATIONS

The preliminary site plan does not comply with the requirements set forth in the Zoning Ordinance. The following item(s) should be addressed prior to the Planning Commission taking action on the preliminary site plan:

1. The applicant shall provide more information on what will be stored on site.
2. Provide approval from the Livingston County Road commission for the existing access points.
3. The semi-truck parking spaces need to be moved outside of the rear yard setback.
4. Driveways and parking areas shall be asphalt or concrete.
5. Add parking islands to the end of parking bays.
6. The applicant shall provide a landscape plan that meets the standards of Article 28.
7. The applicant shall specify how many feet the perimeter of the retention pond is.
8. The fence shall be constructed of redwood, cedar, or No. 1 pressure treated wood.
9. The trash enclosure shall be constructed of wood or masonry.

Please contact us with any questions or concerns.


CARLISLE/WORTMAN ASSOC., INC.
Paul Montagno, AICP
Principal


CARLISLE/WORTMAN ASSOC., INC.
Brady Heath
Community Planner

#PC-2025-22

cc: Joanathan Hohenstein, Township Zoning Administrator

HOWELL TOWNSHIP
Request for Amendment to Approved Site Plan

3525 Byron Road Howell, MI 48855
Phone: 517-546-2817 ext. 108
Email: inspector@howelltownshipmi.org

RECEIVED

NOV 12 2025

HOWELL TOWNSHIP

Fee: \$350.00, submitted with application

| | | | | | |
|-----------------------------------------------------------------------------------------------|----|-----|---------------------------------------------------|-------|----------|
| Parcel ID #: 4706- | 29 | 400 | 008 | Date | 11/06/25 |
| Location of Property 1475 N Burkhart Road, Howell, MI | | | | | |
| Applicant Name Chris Locke | | | Applicant Address 3000 Town Center, Southfield MI | | |
| Phone | | Fax | | Email | |
| Type/Nature of Business Electric Vehicle Charging Stations at Tanger Howell | | | | | |
| Property Owner Name/Title Howell 70 West 36 Equities LLC By: Time Equities, Inc., as Agent | | | | | |
| Phone | | Fax | | Email | |

Briefly state a description of the amendment requested and minimums required. Attach drawings or other pertinent information for review.

The development of the addition of electric vehicle charging stations in the existing Tanger Howell retail, is proposing to redesign 16 standard parking stalls into 8 standard EV charging stalls and 2 van accessible EV charging stalls. This development is only bringing a loss of 6 total parking stalls. Additionally, the development is proposing 2 light poles within the parking stalls. The proposed lighting is operational 24/7 and will be motion detecting. Adding additional lighting brings better security to this equipment and the users and ultimately the shopping retailers as well.

Applicant Signature

Date 11/11/25

Representative's
Owner Signature

Date 11/11/2025



PROPERTY ID: P117489

INSTALLATION OF ELECTRIC VEHICLE CHARGING INFRASTRUCTURE

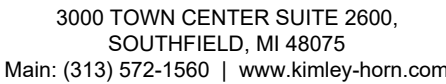
KENSINGTON VALLEY OUTLETS

1475 N BURKHART ROAD - EV

HOWELL, MI 48855



EVGO
1661 E FRANKLIN AVE
EL SEGUNDO, CA 90245



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STIPULATION FOR REUSE

THIS PLAN WAS PREPARED FOR USE ON A
SPECIFIC SITE AT:
HOWELL, MI 48855
CONTEMPORANEOUSLY WITH ITS ISSUE
DATE ON 10/01/2025 AND IT IS NOT
SUITABLE FOR USE ON A DIFFERENT
PROJECT SITE OR AT A LATER TIME. USE
OF THIS DRAWING FOR REFERENCE
EXAMPLE ON ANOTHER PROJECT
REQUIRES THE SERVICES OF PROPERLY
LICENSED ARCHITECTS AND/OR
ENGINEERS. REPRODUCTION OF THIS
DRAWING FOR REUSE ON ANOTHER
PROJECT IS NOT AUTHORIZED AND MAY
BE CONTRARY TO THE LAW.

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FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:
GENERAL CONTRACTOR: TBD
PROPERTY OWNER: TANGER PROPERTIES, LLC

1. ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS.
2. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK.
3. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS.
4. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.
5. WORK PREVIOUSLY COMPLETED IS REPRESENTED BY LIGHT SHADED LINES AND NOTES. THE SCOPE OF WORK FOR THIS PROJECT IS REPRESENTED BY DARK SHADED LINES AND NOTES. CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY EXISTING CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
6. THE CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE CONSTRUCTION MANAGER 48 HOURS (CONTRACTOR SHALL CONFIRM TIMELINE WITH EVGO) PRIOR TO COMMENCEMENT OF WORK.
7. THE CONTRACTOR SHALL PROVIDE UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
8. THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.
9. THE CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A:10-B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.
10. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. THE CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, AND D) TRENCHING & EXCAVATION.
11. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.
12. THE AREAS OF THE OWNER'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.
13. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.
14. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
15. THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 80 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL, PRE-APPROVED BY THE LOCAL JURISDICTION.
16. ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE GENERAL CONTRACTOR AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
17. THE CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES TO THE GENERAL CONTRACTOR AND OWNER (EVGO) UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
18. INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE SITE OWNER. CONTRACTORS SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
19. THE TERM "DESIGN ENGINEER" USED HEREIN SHALL MEAN THE ENGINEER WHO HAS SIGNED AND SEALED HIS/HER RESPECTIVE PLAN SHEETS AND IS IN RESPONSIBLE CHARGE OF THE ENGINEERING DESIGN ON THOSE SHEETS. THE TERM "CONTRACTOR" USED HEREIN SHALL MEAN ANY GENERAL CONTRACTOR OR SUBCONTRACTOR USING THESE PLANS.
20. THE DESIGN ENGINEER SHALL NOT PROVIDE, OBSERVE, COMMENT ON NOR ENFORCE ANY SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, IMPLEMENT, AND MAINTAIN ALL SAFETY MEASURES AND SHALL BE SOLELY RESPONSIBLE FOR ALL REQUIRED SAFETY MEASURES, PROCEDURES AND PROGRAMS AND COMPLYING WITH ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS. THE CONTRACTOR AGREES THAT SHE/HI SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
21. THE DESIGN ENGINEER SHALL HAVE NO RESPONSIBILITY FOR ANY OF THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION, TECHNIQUES, EQUIPMENT CHOICE AND USAGE, SEQUENCE, SCHEDULE, SAFETY PROGRAMS, OR SAFETY PRACTICES, NOR SHALL THE DESIGN ENGINEER HAVE ANY AUTHORITY OR RESPONSIBILITY TO DIRECT OR STOP THE WORK OF ANY CONTRACTOR.
22. ANY CHANGES MADE BY THE CONTRACTOR TO THE CONTRACTUALLY AGREED UPON SCOPE, SCHEDULE AND/OR FEE, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE OWNER, IS THE SOLE RESPONSIBILITY AND LIABILITY OF THE CONTRACTOR. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR DIRECTING, IMPLICITLY OR EXPLICITLY ANY SUCH CHANGES AND THE CONTRACTOR ASSUMES ALL RISK OF UNDERTAKING ANY SUCH CHANGES.
23. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE DESIGN ENGINEER AND OWNER, THEIR OFFICERS, AGENTS AND EMPLOYEES, HARMLESS FROM ANY AND ALL CLAIMS, DEMANDS, JUDGMENTS, LOSS, DAMAGES, COSTS, EXPENSES, FEES OR LIABILITY WHATSOEVER, REAL OR ALLEGED, IN CONNECTION WITH, IN WHOLE OR IN PART, DIRECTLY OR INDIRECTLY, THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE OR CONCURRENT NEGLIGENCE OF THE OWNER OR THE DESIGN ENGINEER.
24. IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS, THE CONTRACTOR SHALL ISSUE A RFI IN WRITING FROM THE DESIGN ENGINEER AND THE OWNER, REQUESTING A CLARIFICATION BEFORE PERFORMING ANY RELATED OR IMPACTED WORK. ANY ELECTRONIC FILES ARE PROVIDED ONLY FOR THE CONVENIENCE OF THE RECEIVING PARTY AND ARE INTENDED SOLELY FOR THE EXCLUSIVE USE BY THAT PARTY FOR THE PURPOSES EXPRESSLY AUTHORIZED. IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE, ONLY PRINTED COPIES OF DOCUMENTS

DESIGNATED AS "ISSUED FOR CONSTRUCTION", OR EQUIVALENT DESIGNATION, MAY BE RELIED UPON

- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING ITS BID, IN WHOLE AND IN PART, BASED UPON THE DESIGN SHOWN ON THESE PLANS. THE CONTRACTOR IS NOT AUTHORIZED TO USE ANY QUANTITIES SHOWN ON THESE PLANS WITHOUT THE EXPLICIT WRITTEN PERMISSION OF THE ENGINEER OF RECORD. THE DESIGN ENGINEER MAKES NO WARRANTY OR REPRESENTATION AS TO THE SUITABILITY OF ANY INFORMATION SHOWN HEREON FOR DETERMINING A CONTRACTOR BID.
26. ANYTHING MENTIONED IN THE SPECIFICATIONS, IF ANY, AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, SHALL BE OF LIKE EFFECT AS IF SHOWN OR MENTIONED IN BOTH.
27. THE EXISTENCE, LOCATION, TYPE, CONDITION AND SIZE OF UNDERGROUND UTILITIES, FACILITIES OR STRUCTURES ("FACILITIES") SHOWN ON THESE PLANS WAS OBTAINED FROM A SEARCH OF READILY AVAILABLE RECORDS, OR AS PROVIDED BY OTHERS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. THE CONTRACTOR SHALL CONFIRM SAID INFORMATION BY FIELD MEASUREMENTS, OBSERVATIONS AND WHATEVER MEANS NECESSARY, PRIOR TO CONSTRUCTION. THE CONTRACTOR WILL IMMEDIATELY INFORM THE DESIGN ENGINEER IN WRITING IF ANY DISCREPANCIES OR CONFLICTING INFORMATION IS FOUND. THE CONTRACTOR SHALL PROTECT THE FACILITIES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS, AS NEEDED. ALL DAMAGES THEREO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND STANDARDS AT THE SOLE EXPENSE OF THE CONTRACTOR.
28. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES AS NEEDED, SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY DUE TO THE ACTUAL LOCATION, SIZE, TYPE, OR CONDITION OF EXISTING FACILITIES DIFFERING FROM WHAT IS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL SUCH FACILITIES WHETHER NOTED ON THESE PLANS OR NOT. THE DESIGN ENGINEER ASSUMES NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE OWNER AND/OR AUTHORITY HAVING JURISDICTION AS NEEDED.
29. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK ADJACENT TO, ABOVE OR BELOW THEIR FACILITIES AND SHALL COORDINATE ALL WORK WITH UTILITY COMPANY REPRESENTATIVES.
30. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED GRADING ELEMENTS BEFORE THE START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
31. UNLESS EXPLICITLY STATED OTHERWISE HEREIN, THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S) AS FINISHED GROUND, FINISHED SURFACE, AND FINISHED FLOOR ELEVATIONS. NO REPRESENTATIONS OF SUCH QUANTITIES OR A BALANCED SITE CONDITION ARE MADE BY THE ENGINEER OF RECORD. THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE FOR PERMITTING PURPOSES ONLY. UNLESS EXPLICITLY STATED OTHERWISE HEREIN, THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION AND RE-COMPACTATION, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE THICKNESS OF PAVEMENT SECTIONS, STORMWATER QUALITY MEDIA SECTIONS, UTILITY PIPES, TRENCHING AND BEDDING MATERIALS, BUILDING OR WALL FOOTINGS, BUILDING SLABS THICKNESSES AND UNDERLYING BASE OR SAND LAYERS, REUSE OF PULVERIZED MATERIALS THAT WILL UNDERLIE PAVEMENTS, ETC. THE CONTRACTOR IS NOT AUTHORIZED TO USE THE ESTIMATES HEREIN FOR BIDDING AND CONSTRUCTION PURPOSES WITHOUT THE EXPLICIT WRITTEN PERMISSION OF THE ENGINEER OF RECORD.
32. PROPOSED BUILDING PAD ELEVATIONS, IF SHOWN, ARE BASED ON INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. CONTRACTOR SHALL CONFIRM SLAB STRUCTURAL SECTION THICKNESSES AND PAD PREPARATION REQUIREMENTS PRIOR TO GRADING FINISHED PADS.
33. THE CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL AND ALL OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. SHOULD DISCREPANCIES OR CONFLICTING INFORMATION BE FOUND ON ANY PLANS, OR IN ANY SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK IN QUESTION.
34. THE PROPOSED BUILDING FOOTPRINT(S) AND OTHER STRUCTURE FOOTPRINTS SHOWN IN THESE PLANS WERE PROVIDED TO THE DESIGN ENGINEER BY THE PROJECT ARCHITECT AT THE TIME OF PREPARATION OF THESE PLANS. THE DESIGN ENGINEER MAKES NO REPRESENTATION AS TO THE ACCURACY OF THESE FOOTPRINTS AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFIRMING WITH THE RELEVANT DESIGN TEAM PROFESSIONALS, AND USING THE FINAL, CORRECT VERSION OF THE FOOTPRINTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFIRMING THE STRUCTURE'S FINAL POSITION ON THE SITE BASED UPON THE FINAL ARCHITECTURAL FOOTPRINT, CIVIL PLANS, SURVEY AND ANY OTHER RELEVANT DOCUMENTS. ANY DIFFERENCES FOUND SHALL BE IMMEDIATELY REPORTED TO THE DESIGN ENGINEER AND OWNER/PROJECT ARCHITECT.
35. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT THE PROJECT PROPERTY FROM ANY EROSION AND SILTATION THAT RESULT FROM CONTRACTOR OPERATIONS, BY APPROPRIATE MEANS, OR BY SPECIFIC MEANS DESCRIBED IN THE PROJECT'S PLANS, SPECIFICATIONS OR STORM WATER POLLUTION PREVENTION REPORT, UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY WHOMEVER IS TO BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND THE AGENCY HAVING JURISDICTION. THE DESIGN ENGINEER SHALL HAVE NO RESPONSIBILITY TO DIRECT THE CONTRACTOR REGARDING THE MEANS AND METHODS OF STORMWATER POLLUTION PREVENTION, SEQUENCE, OR SCHEDULE.
36. ALL SHOP DRAWINGS, RFIS AND ANY OTHER DOCUMENTS THAT REQUIRE DESIGN ENGINEER REVIEW SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF CONSTRUCTION OF THAT ITEM, TO ALLOW ADEQUATE REVIEW, COORDINATION AND RESPONSE. SAID DOCUMENTS ARE NOT A DIRECTION FROM THE DESIGN ENGINEER TO MODIFY THE CONTRACTORS SCOPE, SCHEDULE OR PRICE, AND THE CONTRACTOR WARRANTS NOT TO USE THEM AS SUCH.
37. THE CONTRACTOR SHALL ENSURE APPROPRIATE LICENSED PROFESSIONALS HAVE BEEN RETAINED BY THE CONTRACTOR TO PROVIDE ANY/ALL REQUIRED PROJECT CERTIFICATIONS AS MAY BE REQUIRED BY ANY AUTHORITY HAVING JURISDICTION. THE DESIGN ENGINEER WILL NOT PROVIDE ANY PROJECT CERTIFICATIONS UNLESS SPECIFICALLY RETAINED BY THE OWNER TO PROVIDE LIMITED SERVICES.
38. CONTRACTOR SHALL RETAIN A LICENSED SURVEYOR TO DOCUMENT ALL CHANGES TO THE APPROVED CONSTRUCTION DOCUMENTS DURING CONSTRUCTION. THE LICENSED SURVEYOR SHALL PREPARE A SIGNED AND SEALED "AS-BUILT" DRAWING UPON COMPLETION OF CONSTRUCTION. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR THE PREPARATION IN WHOLE OR IN PART OF THE "AS-BUILT" DRAWINGS.
39. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENTATION AND BENCHMARKS WHICH WILL BE DISTURBED OR DESTROYED BY CONSTRUCTION. SUCH POINTS SHALL BE REFERENCED AND REPLACED WITH APPROPRIATE MONUMENTATION BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED BY THE LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AS REQUIRED BY THE MOST CURRENT VERSION OF THE LAND SURVEYORS ACT.

1. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS, UNLESS NOTED OTHERWISE: WIDE FLANGE SHAPE: A992, 50KSI
ANGLE AND CHANNEL SHAPE: ASTM A36, 36 KSI PLATE: ASTM A36, 36KSI
PIPE: ASTM A53 GRADE B, 35 KSI
HSS: ASTM A500 GRADE B, 46KSI
2. HIGH-STRENGTH BOLTS SHALL CONFORM TO ASTM A325: ONE HIGH-STRENGTH BOLT ASSEMBLY SHALL CONSIST OF A HEAVY HEX STRUCTURAL BOLT, A HEAVY NUT, A HARDENED WASHER CONFORMING TO ASTM F436. THE HARDENED WASHER SHALL BE INSTALLED AGAINST ELEMENT TURNED IN TIGHTENING. UNLESS NOTED OTHERWISE ON THE DRAWINGS, ALL CONNECTIONS SHALL BE BEARING TYPE CONNECTIONS.
3. WELDING ELECTRODES SHALL COMPLY WITH AWS D1.1 USING A5.1 OR A5.5 E70XX AND SHALL BE COMPATIBLE WITH THE WELDING PROCESS SELECTED. WELDERS SHALL BE QUALIFIED AS PRESCRIBED IN AWS D1.1.
4. UNLESS NOTED OTHERWISE ON THE DRAWING, ALL ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 WITH HEAVY HEXAGONAL NUT.
5. FABRICATE ITEMS OF STRUCTURAL STEEL IN ACCORDANCE WITH AISC SPECIFICATION.
6. ALL EXPOSED STRUCTURAL STEEL AND BOLTS SHALL BE HOT DIP GALVANIZED PER ASTM A123.
7. SUBMIT FABRICATION AND ERECTION DRAWINGS SHOWING ALL DETAILS, CONNECTIONS, MATERIAL DESIGNATIONS, AND TOP STEEL ELEVATIONS FOR APPROVAL. THE SHOP DRAWINGS WILL BE REVIEWED FOR GENERAL CONFORMANCE TO THE CONTRACT DRAWINGS. SUCH APPROVAL SHALL NOT RELIEVE THE FABRICATOR/CONTRACTOR OF THE RESPONSIBILITY FOR EITHER THE ACCURACY OF THE DETAILED DIMENSIONS IN THE SHOP AND ERECTION DRAWINGS OR THE GENERAL FIT-UP OF PARTS THAT ARE TO BE ASSEMBLED IN THE FIELD.
8. PRIMER SHALL BE RED OXIDE-CHROMATE PRIME COMPLYING WITH STEEL STRUCTURES PAINTING COUNCIL (SSPC) PAINT SPECIFICATION NUMBER 11.

1. CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS UNLESS OTHERWISE NOTED. CONTINUOUS INSPECTION IS NOT REQUIRED. SLUMP: 4" MIN / 6" MAX.
 - i. AIR ENTRAINMENT: 4 1/2% - 7% BY VOLUME
2. REINFORCEMENT SHALL BE A NEW BILLET STEEL DEFORMED BARS CONFORMING TO ASTM SPECIFICATION A615 GRADE 60, MAXIMUM COARSE AGGREGATE SIZE SHALL BE 3/4".
3. REINFORCEMENT SHALL COMPLY WITH THE LATEST EDITION OF ACI 318 FOR MINIMUM CLEARANCES AND CONCRETE COVER.
4. ALL EMBEDDED ITEMS SHALL BE SECURELY HELD IN POSITION PRIOR TO PLACEMENT OF CONCRETE. ALL CONCRETE SHALL BE READY-MIXED IN ACCORDANCE WITH ASTM C94.
5. MAINTAIN TEMPERATURE OF CAST IN PLACE CONCRETE BETWEEN 50 DEGREES AND 90 DEGREES FAHRENHEIT.
6. DO NOT USE RETEMPERED CONCRETE, OR ADD WATER TO READY-MIX CONCRETE AT THE JOB SITE.
7. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.7.
8. EXCEPT AS DETAILED OR AUTHORIZED, MAKE BARS CONTINUOUS AROUND CORNERS WHERE PERMITTED, SPLICES MADE BY CONTACT LAPS SHALL BE CLASS "B" TENSION LAPS UNLESS NOTED OTHERWISE.
9. DETAIL BARS IN ACCORDANCE WITH "ACI DETAILING MANUAL", PUBLICATION SP-66 AND " BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318.
10. PROVIDE ACCESSORIES NECESSARY TO PROPERLY SUPPORT REINFORCING.
11. EXPANSION JOINTS SHALL BE CONSTRUCTED AT LOCATIONS WHERE THE CONCRETE PAD ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES, AND AS SHOWN ON APPROVED PLANS. EXPANSION JOINTS SHALL BE FORMED WITH ONE-HALF INCH PRE-FABRICATED NON-EXTRUDING FILLER AND SHALL EXTEND THE FULL DEPTH OF THE SLAB.

1. DRILLING THROUGH EXISTING SLAB REBAR DURING POST-INSTALLED ANCHOR BOLTS INSTALLATION IS NOT PERMITTED.
2. POST-INSTALLED ANCHOR BOLT INSTALLATION SHALL BE PERFORMED BY PERSONNEL TRAINED TO INSTALL THE SYSTEM PER THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS (MPI), AS INCLUDED IN THE ANCHOR PACKAGING.
3. EXPANSION AND ADHESIVE ANCHORS SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS USING STANDARD EMBEDMENT AND EDGE DISTANCES UNLESS NOTED OTHERWISE ON THE DRAWINGS.
4. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS, UNLESS NOTED OTHERWISE: WIDE FLANGE SHAPE: A992, 50KSI
ANGLE AND CHANNEL SHAPE: ASTM A36, 36 KSI PLATE: ASTM A36, 36KSI
PIPE: ASTM A53 GRADE B, 35 KSI
HSS: ASTM A500 GRADE B, 46KSI
5. HIGH-STRENGTH BOLTS SHALL CONFORM TO ASTM A325: ONE HIGH-STRENGTH BOLT ASSEMBLY SHALL CONSIST OF A HEAVY HEX STRUCTURAL BOLT, A HEAVY NUT, A HARDENED WASHER CONFORMING TO ASTM F436. THE HARDENED WASHER SHALL BE INSTALLED AGAINST ELEMENT TURNED IN TIGHTENING. UNLESS NOTED OTHERWISE ON THE DRAWINGS, ALL CONNECTIONS SHALL BE BEARING TYPE CONNECTIONS.
6. WELDING ELECTRODES SHALL COMPLY WITH AWS D1.1 USING A5.1 AND SHALL BE COMPATIBLE WITH THE WELDING PROCESS SELECTED. WELDERS SHALL BE QUALIFIED AS PRESCRIBED IN AWS D1.1.
7. UNLESS NOTED OTHERWISE ON THE DRAWING, ALL ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 WITH HEAVY HEXAGONAL NUT.
8. FABRICATE ITEMS OF STRUCTURAL STEEL IN ACCORDANCE WITH AISC SPECIFICATION.
9. ALL EXPOSED STRUCTURAL STEEL AND BOLTS SHALL BE HOT DIP GALVANIZED PER ASTM A123.
10. SUBMIT FABRICATION AND ERECTION DRAWINGS SHOWING ALL DETAILS, CONNECTIONS, MATERIAL DESIGNATIONS, AND TOP STEEL ELEVATIONS FOR APPROVAL. THE SHOP DRAWINGS WILL BE REVIEWED FOR GENERAL CONFORMANCE TO THE CONTRACT DRAWINGS. SUCH APPROVAL SHALL NOT RELIEVE THE FABRICATOR/CONTRACTOR OF THE RESPONSIBILITY FOR EITHER THE ACCURACY OF THE DETAILED DIMENSIONS IN THE SHOP AND ERECTION DRAWINGS OR THE GENERAL FIT-UP OF PARTS THAT ARE TO BE ASSEMBLED IN THE FIELD.
11. PRIMER SHALL BE RED OXIDE-CHROMATE PRIME COMPLYING WITH STEEL STRUCTURES PAINTING COUNCIL (SSPC) PAINT SPECIFICATION NUMBER 11.

| ELECTRICAL SCOPE OF WORK RESPONSIBILITIES | | | |
|-------------------------------------------|-------------------------------|------------|-------------|
| | SCOPE | BY UTILITY | BY CUSTOMER |
| PRIMARY | PRIMARY TRENCHING | | X |
| | INSTALL PRIMARY CONDUIT | | X |
| | INSTALL PULL ROPE | | X |
| | INSTALL PRIMARY FEEDERS | X | |
| | PROVIDE ROAD CUTS/ROAD BORES | | X |
| | PAVEMENT REPLACEMENT | | X |
| TRANSFORMER | INSTALL TRANSFORMER PAD | | X |
| | PROVIDE TRANSFORMER | X | |
| | INSTALL TRANSFORMER | X | |
| | INSTALL CONNECTIONS - PRIMARY | X | |
| | INSTALL CONNECTIONS - SECD | X | |
| SWITCHBOARD | PROVIDE METER | X | |
| | INSTALL METER | X | |
| | LAND SECONDARY FEEDERS | | X |
| SECONDARY | SECONDARY TRENCHING | | X |
| | INSTALL SECONDARY CONDUIT | | X |
| | INSTALL PULL ROPE | | X |
| | INSTALL SECONDARY FEEDERS | | X |
| | PROVIDE SECONDARY FEEDERS | | X |
| | PROVIDE ROAD CUTS/ROAD BORES | | X |
| | PAVEMENT REPLACEMENT | | X |

PENDING UTILITY CONFIRMATION

| | | | |
|----------|---------------------------------------|---------|---------------------------------------|
| AMP(S) | AMPERE | DC | DIRECT CURRENT |
| ANB | ANCHOR BOLT | DEMO | DEMOLITION |
| AC | ALTERNATING CURRENT / ACRE | D DIA | DIAETER |
| ADA | AMERICANS WITH DISABILITIES ACT | DIST | DISTANCE |
| AFC | AUTOMATIC FREQUENCY CONTROL | DN | DOWN |
| AIC | AMPERE INTERRUPTING CURRENT | DP | DISTRIBUTION PANEL |
| AJ | AUTHORITY HAVING JURISDICTION | (E), EX | EXHUNG |
| ALA | ALUMINUM | EACH | EACH |
| ART | ARTICLE | E&S | EROSION PREVENTION & SEDIMENT CONTROL |
| ATS | AUTOMATIC TRANSFER SWITCH | EGC | EQUIPMENT GROUNDING CONDUCTOR |
| AUX | AUXILIARY | ESA | ENVIRONMENTAL SITE ASSESSMENT |
| AWG | AMERICAN WIRE GAUGE | ESMT | EASEMENT |
| BAY | BAYONET FUSE | EMT | ELECTRIC METALLIC TUBING |
| BLDG | BUILDING | ENCL | ENCLOSURE |
| BOL | BOLLARD | EPO | EMERGENCY POWER OFF |
| BOT | BOTTOM | EQ | EQUAL / EQUIVALENT |
| C | CONDUIT | EQPT | EQUIPMENT |
| CC | CENTER TO CENTER | ETC | ET CETERA |
| CCS | COMBINED CHARGING SYSTEM | EV | ELECTRIC VEHICLE |
| CCS/CCSC | CSC TYPE 1 / CCS TYPE 2 | EVCS | ELECTRIC VEHICLE CHARGING STATION |
| CCE | CALIFORNIA ELECTRICAL CODE | EVSE | ELECTRIC VEHICLE SUPPLY EQUIPMENT |
| Chademo | CHARGE DE MOVE (EV CHARGING STANDARD) | EVSG | ELECTRIC VEHICLE SWITCH GEAR |
| CKT | CIRCUIT | FEMA | FEDERAL EMERGENCY MANAGEMENT AGENCY |
| CL | CENTER LINE | FEE | FINISHED FLOOR ELEVATION |
| CLF | CURRENT LIMITING FUSE | FLA | FULL LOAD AMPERES |
| CLR | CLEARANCE | FSC | FUTURE SERVICE CENTER |
| COMM | COMMUNICATION | FT | FEET |
| CONC | CONCRETE | GA | GAUGE |
| CT | CURRENT TRANSFORMER | GALV | GALVANIZED |
| CU | COPPER | GE | GROUNDING ELECTRODE CONDUCTOR |
| ±, D | DEPTH | GND | GROUND |
| DB | DEPTH BURIAL | GRS | GALVANIZED RIGID STEEL |

| | | | |
|-------|----------------------------------------|-------|-------------------------------|
| CFCI | GROUND FAULT CIRCUIT INTERRUPTER | MFR | MANUFACTURER |
| HGD | HOT DIPPED GALVANIZED | MH | MANHOLE |
| QOA | QUAD AUTO | ML | MAIN LUGS ONLY |
| HP | HORSEPOWER | MPZ | MINI POWER-ZONE |
| HT | HEIGHT | MSB | MAIN SWITCHBOARD |
| HV | HIGH VOLTAGE | MSV | MAIN SWITCHGEAR |
| HVAC | HEATING, VENTILATION, AIR CONDITIONING | MTG | MOUNTING |
| HZ | HERTZ | MV | MEDIUM VOLTAGE |
| I | CURRENT | MVA | MEGA VOLT AMPERES |
| ID | INNER DIAMETER / IDENTIFICATION | NEUT | NEUTRAL |
| IMC | INTERMEDIATE METAL CONDUIT | NATL | NATIONAL ELECTRIC CODE |
| IN | INCH | N | NUMBER |
| ISC | INTERRUPTING SHORT CIRCUIT | NTS | NOT TO SCALE |
| IG | ISOLATED GROUND | OC | ON CENTER |
| JB | JUNCTION BOX | OCPR | OVERCURRENT PROTECTION DEVICE |
| KAIC | KILO AMPERES INTERRUPTION CAPACITY | OCFI | OWNER FURNISHED CONTRACTOR IN |
| KCMIL | KILO CIRCUIT MILS | OH | OVERHEAD |
| KV | KILOVOLTS | OP | OUTSIDE OF PIPE |
| KVA | KILOVOLT AMPERE | P | PHASE |
| KW | KILOWATT | PDU | POWER DISTRIBUTION UNIT |
| KWH | KILO WATT-HOURS | PANEL | PANEL |
| LCP | LIGHTING CONTROL PANEL | POCC | POINT OF COMMON CONNECTION |
| LCF | LINEAR FEET | POI | POINT OF INTERCONNECTION |
| LVE | LOW VOLTAGE ENCLOSURE | PPE | PERSONAL PROTECTION EQUIPMENT |
| LSVB | LOW VOLTAGE SWITCHBOARD | PV | PHOTOVOLTAIC |
| M | METER | PVC | POLYVINYL CHLORIDE |
| MAX | MAXIMUM | QTY | QUANTITY |
| MSBL | MINIMUM BUILDING SETBACK LINE | RMC | RIGID METALLIC CONDUIT |
| MCC | MOTOR CONTROL CENTER | SCA | SHORT CIRCUIT AVAILABLE |
| MCP | MOTOR CIRCUIT PROTECTOR | SCH | SCHEDULE |
| MIN | MINIMUM | SEC | SECONDARY |
| MCB | MAIN CIRCUIT BREAKER | SF | SQUARE FEET |

| | |
|------|--------------------------------|
| SJ | STEEL JOIST INSTITUTE |
| SPA | SPACING |
| SPEC | SPECIFICATION |
| SS | SQUARE |
| SS | STAINLESS STEEL |
| SSWR | SANITARY SEWER |
| STD | STANDARD |
| STE | SUITE |
| STP | SWITCHED TWISTED PAIR |
| SWBD | SWITCHBOARD |
| SYM | SYMMETRICAL |
| TBD | TO BE DETERMINED |
| TVSS | TRANSIENT VOLTAGE SURGE |
| TYP | TYPICAL |
| UG | UNDERGROUND |
| UON | UNLESS OTHERWISE NOTED |
| UTL | UTILITY |
| UTP | UNSHIELDED TWISTED PAIR |
| V | VOLT |
| VA | VOLT-AMPERE |
| VAC | VOLTS ALTERNATING CURRENT |
| VFD | VARIABLE FREQUENCY DRIVE |
| VFI | VARIABLE FREQUENCY INTERRUPTER |
| VP | VAPOR PROOF |
| W | WATT, WIRE |
| W | WITH |
| WO | WITHOUT |
| WP | WEATHERPROOF |
| WT | WATERTIGHT |
| XFR | TRANSFORMER |
| XLPE | CROSS-LINKED POLYETHYLENE |
| XP | EXPLOSION PROOF |

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GENERAL NOTES

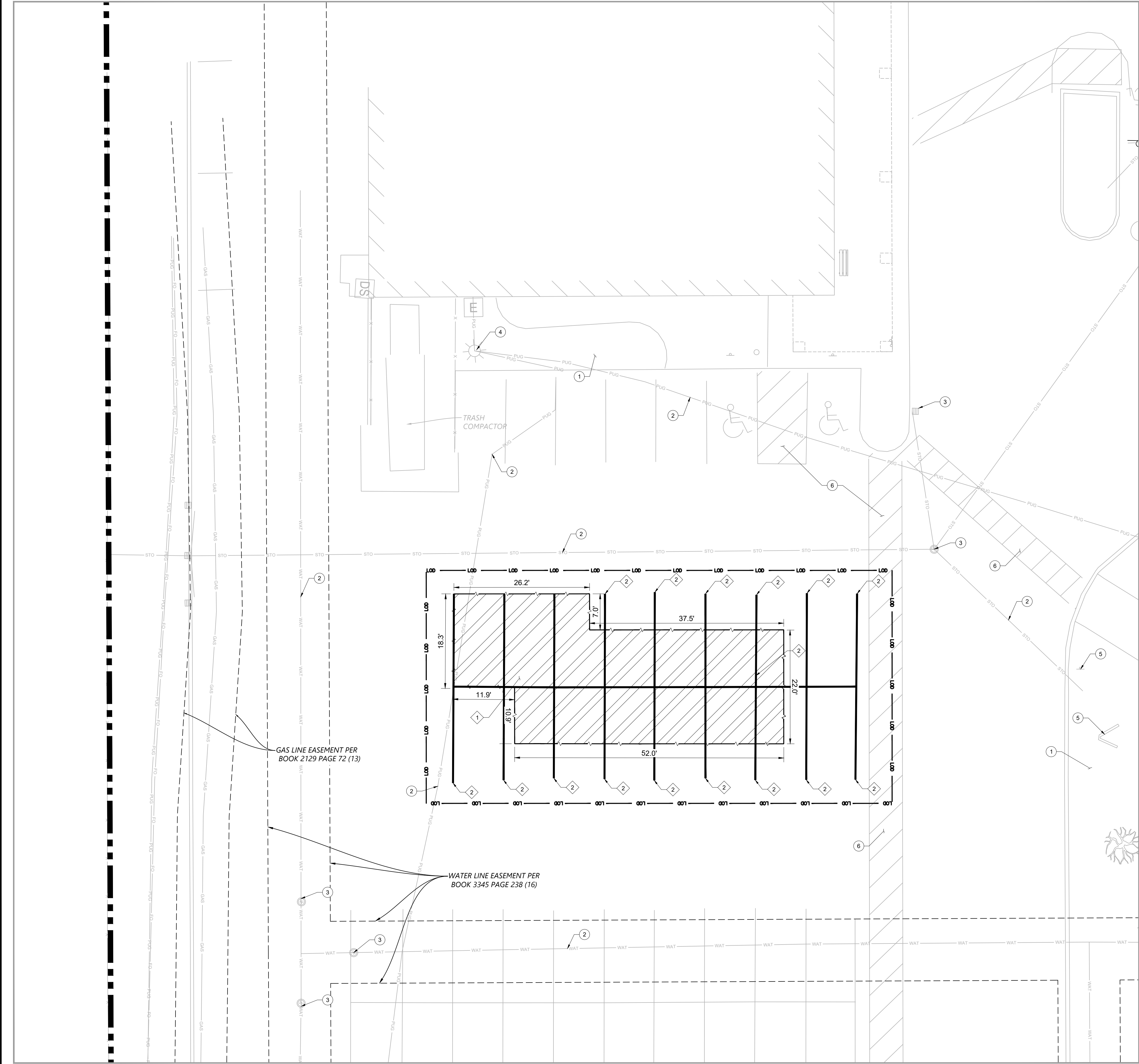
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G1.0

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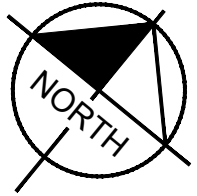
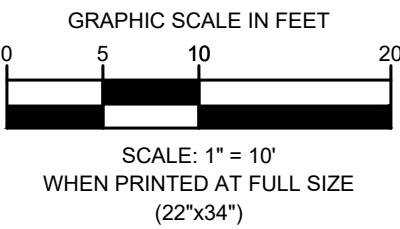


| DEMOLITION PLAN LEGEND | | |
|------------------------|-----------------------------------------|-----------|
| ITEM | DESCRIPTION | QTY. |
| | LIMITS OF DISTURBANCE | ±4,050 SF |
| | SAW CUT LINE | ±185 LF |
| | EX. FULL-DEPTH ASPHALT PAVEMENT REMOVAL | ±1,455 SF |

- DEMOLITION NOTES**
- SEE ADDITIONAL DEMOLITION NOTES ON SHEET G1.0 - GENERAL NOTES.
 - THE CONTRACTOR SHALL CLEAR THE PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITY STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
 - DEMOLITION AND REMOVAL OF PAVEMENT INCLUDES PAVEMENT THICKNESS AS WELL AS BASE COURSE THICKNESS.
 - REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIAL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF DEMOLITION WORK.
 - THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
 - DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
 - EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND STREETS.
 - DUST CONTROL MEASURES SHALL BE IMPLEMENTED DURING DEMOLITION.
 - CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS FROM THE SITE AS WORK PROGRESSES.
 - ALL DEMOLITION SHALL COMPLY WITH CHAPTER 24 OF THE INTERNATIONAL FIRE CODE.
 - CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
 - CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES.
 - ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
 - REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. REFER TO THIS PLAN FOR THE LIMITS OF ASPHALT REMOVAL. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
 - THE CONTRACTOR SHALL REFER TO THIS PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED AS NECESSARY PRIOR TO ANY DEMOLITION.
 - THE CONTRACTOR SHALL RETURN SIDEWALKS, LANDSCAPING, PLANTERS, IRRIGATION SYSTEMS, AND ANY OTHER FACILITIES DISTURBED BY THE WORK TO THE SAME OR BETTER CONDITION THAN EXISTED PRIOR TO THE COMMENCEMENT OF THE WORK.
 - ALL QUANTITIES LISTED IN DEMOLITION PLAN SHEET ARE ONLY APPROXIMATIONS. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES BEFORE BIDDING.
 - TRENCHING IS TO BE USED EXCEPT IN HEAVY TRAFFIC AREAS, MAIN DRIVE AISLES AND ACROSS STORE ENTRANCE.
 - THE CONTRACTOR SHALL PROTECT EXISTING INFRASTRUCTURE IN PLACE WITHIN THE AREA OF IMPROVEMENTS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.

| DEMOLITION KEYNOTES | |
|---------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| TAG | DESCRIPTION |
| ① | SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT. |
| ② | REMOVE EXISTING STRIPING VIA SANDBLAST AND SEAL COAT ALL AREAS WHERE STRIPING IS REMOVED PRIOR TO APPLICATION OF NEW STRIPING. REFER TO SHEET C3.0 FOR PROPOSED STRIPING RELOCATION. |

| PROTECTION KEYNOTES | |
|---------------------|----------------------------------------------------------------------------------------------------------------------------|
| TAG | DESCRIPTION |
| ① | PROTECT-IN-PLACE EXISTING LANDSCAPING AND ASSOCIATED IRRIGATION. |
| ② | PROTECT-IN-PLACE EXISTING UNDERGROUND UTILITIES. |
| ③ | PROTECT-IN-PLACE EXISTING ABOVE GROUND UTILITY STRUCTURE. |
| ④ | PROTECT-IN-PLACE EXISTING LIGHT POLE. |
| ⑤ | PROTECT-IN-PLACE EXISTING SIGN. |
| ⑥ | PROTECT-IN-PLACE EXISTING STRIPING. ALL STRIPING DAMAGED / FADED DURING CONSTRUCTION ACTIVITIES SHALL BE REPLACED IN KIND. |



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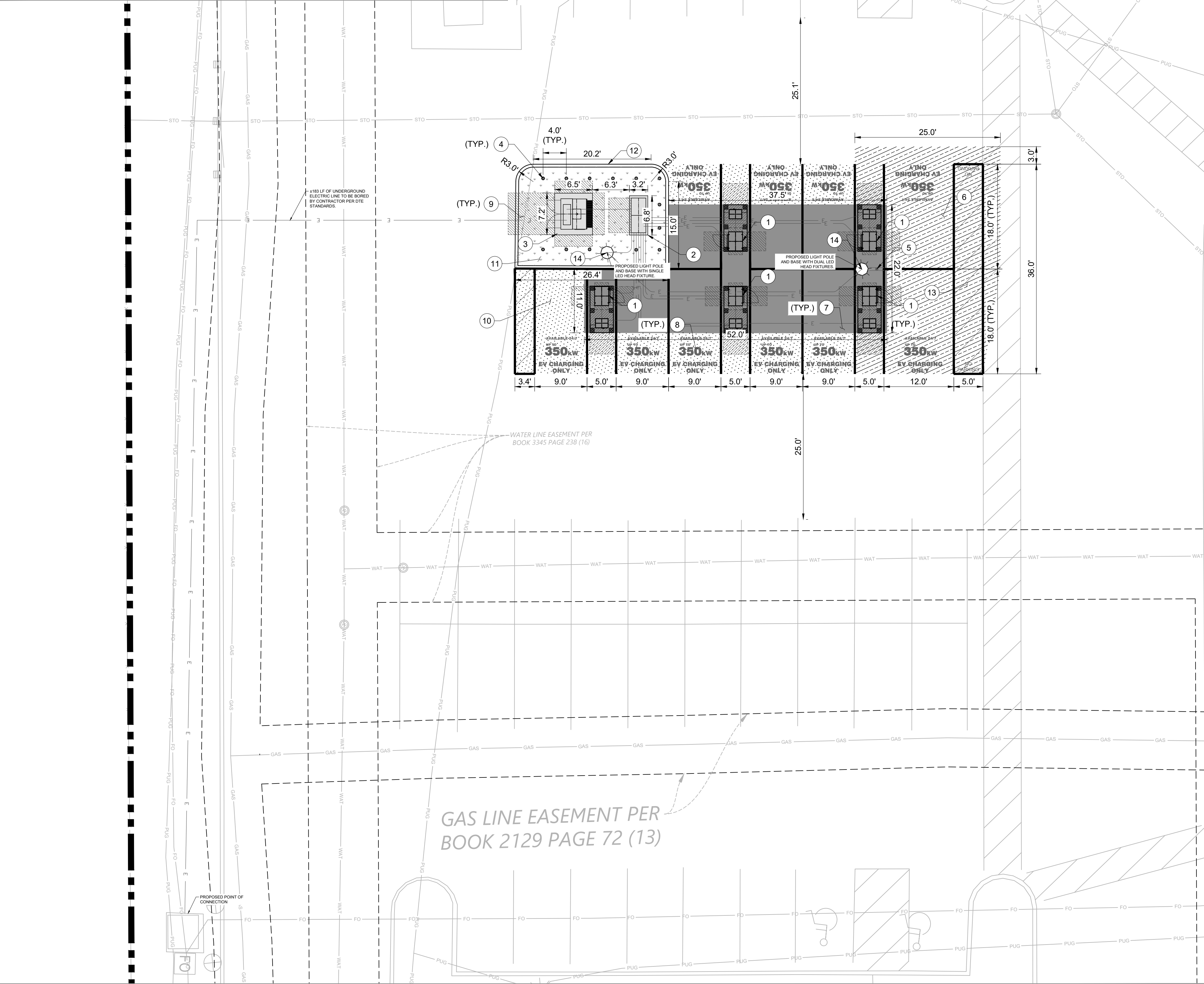
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SHEET TITLE
DEMOLITION PLAN
SHEET NUMBER
C2.0

PROJECT AREA STALL COUNT

| PARKING DATA TABLE | | | |
|----------------------------------------|---------|-------|------------|
| PARKING | REMOVED | ADDED | NET CHANGE |
| STANDARD SPACES | 16 | 0 | -16 |
| STANDARD / VAN ACCESSIBLE SPACES | 0 | 0 | 0 |
| EV CHARGING SPACES | 0 | 8 | +8 |
| VAN ACCESSIBLE EV CHARGING SPACES | 0 | 2 | +2 |
| STANDARD ACCESSIBLE EV CHARGING SPACES | 0 | 0 | 0 |
| TOTAL VEHICULAR PARKING | 16 | 10 | 6 LOSS |



LEGEND

| | |
|--|--------------------------------------------------------------|
| | CENTER LINE |
| | PROPERTY LINE |
| | SETBACK LINE |
| | APPROXIMATE DEMOLITION LIMIT LINE ON-SITE |
| | SAWCUT LINE |
| | PROPOSED EMULSIFIED TOP COAT OVERLAY. ELEVATIONS PER PLAN. |
| | PROPOSED LANDSCAPE. |
| | PROPOSED ASPHALT MILL AND OVERLAY. SEE SHEET C5.0, DETAIL 7. |

CONSTRUCTION NOTES

| | | | |
|----|--|-------------------------------------------------------------------------------------------------------------------|---------------------------|
| 1 | | PROPOSED 350KW HP DELTA EV CHARGER & DELTA POWER CABINET ON PREFABRICATED EQUIPMENT SKID PER DETAIL 1, SHEET C5.2 | 5 EA |
| 2 | | PROPOSED SWBD-EV. EQUIPMENT PAD PER DETAIL 3, SHEET C5.2 | 1 EA |
| 3 | | PROPOSED UTILITY TRANSFORMER PAD. REFER TO UTILITY DRAWING | 1 EA |
| 4 | | PROPOSED UTILITY BOLLARD. SEE DETAIL 6, SHEET C5.0 | 13 EA |
| 5 | | PROPOSED VAN ACCESSIBLE EV SIGN AND SIGN POST. SEE DETAILS 3 & 6, SHEET C5.1 | 2 EA |
| 6 | | PROPOSED ACCESSIBLE EVCS PARKING STRIPING. SEE DETAIL 4, SHEET C5.1 | 2 EA |
| 7 | | PROPOSED EVCS PARKING STRIPING. SEE DETAIL 2, SHEET C5.1 | 8 EA |
| 8 | | PROPOSED EVCS PAVEMENT MARKING. SEE DETAIL 1, SHEET C5.1 | 10 EA |
| 9 | | EQUIPMENT CLEARANCE AREA. | 250 SQ FT |
| 10 | | PROPOSED EMULSIFIED TOP COAT OVERLAY. ELEVATIONS PER GRADING PLAN. | 765 SQ FT |
| 11 | | PROPOSED LANDSCAPE | 400 SQ FT |
| 12 | | PROPOSED CONCRETE CURB. CURB HEIGHT PER SHEET C4.0. SEE DETAIL 3, SHEET C5.0 | 85 LF |
| 13 | | PROPOSED ACCESSIBLE PATH PAVEMENT MARKING. SEE DETAIL 5, SHEET C5.1 | 36 LF |
| 14 | | PROPOSED LIGHT POLE. SEE DETAIL 5, SHEET C5.2 & DETAIL 1, SHEET C5.3 | 2 POLES 3 LED FIXTURES |

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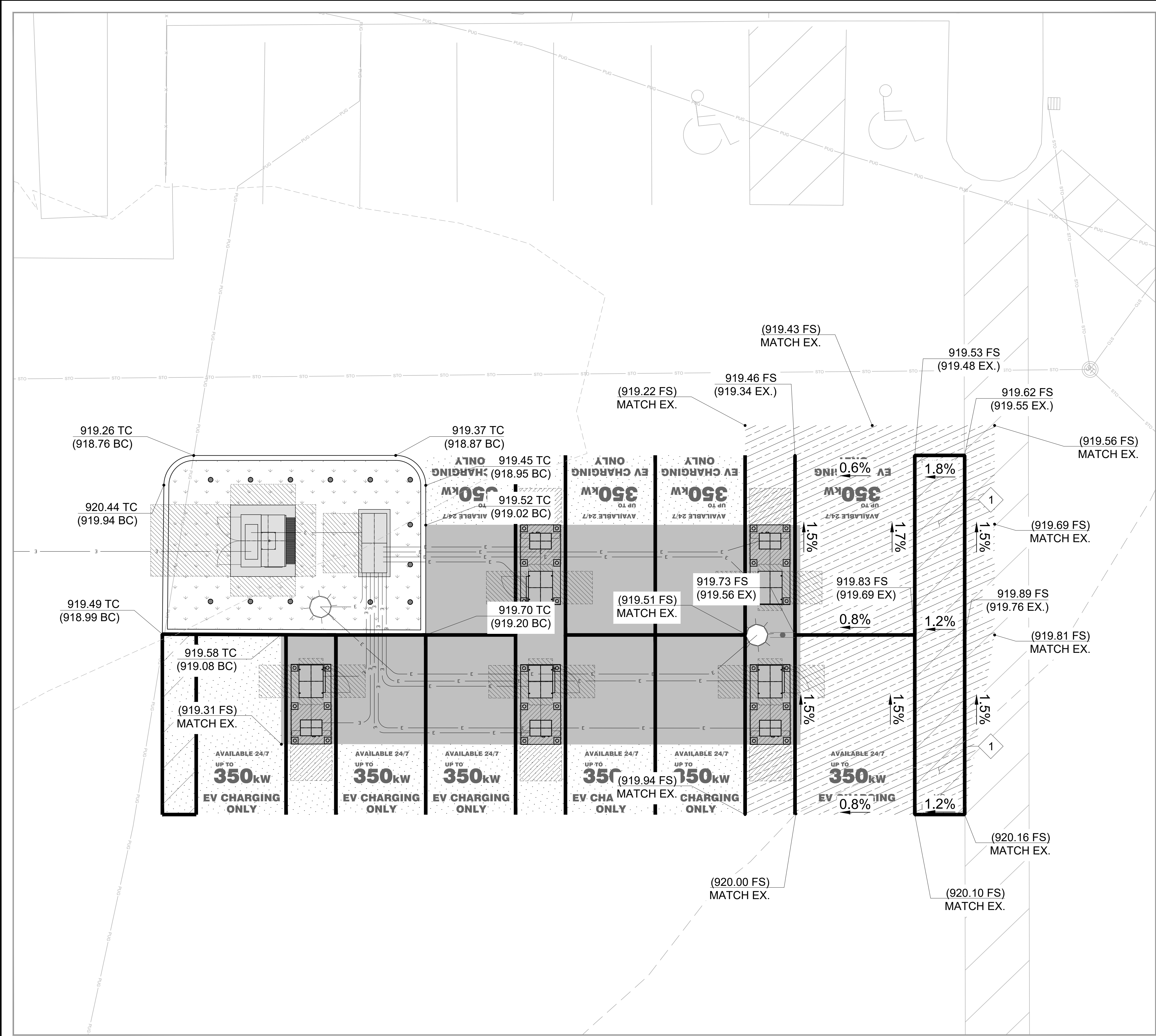
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SHEET TITLE

SITE PLAN

SHEET NUMBER

C3.0



| GRADING PLAN LEGEND | |
|------------------------|----------------------------------------------------------|
| ITEM | DESCRIPTION |
| (1.7%) | EXISTING FLOW ARROW (DIRECTION AND SLOPE) |
| 2.00% | PROPOSED FLOW ARROW (DIRECTION AND SLOPE) |
| 566.50 TC 566.00 FS | PROPOSED SPOT ELEVATION (SEE SPOT ELEVATION NOTES BELOW) |
| 566.50 TC 566.00 FS | EXISTING SPOT ELEVATION LABEL |

| SPOT ELEVATION NOTES | |
|-----------------------------------------------------------------------------|----------------|
| ALL SPOT ELEVATIONS ARE PAVEMENT SURFACE UNLESS OTHERWISE NOTED AS FOLLOWS: | |
| BC | BOTTOM OF CURB |
| FS | FINISH SURFACE |
| ME | MATCH EXISTING |
| TC | TOP OF CURB |

| GRADING NOTES | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| 1. ELECTRICAL SUBCONTRACTOR TO REFER TO ELECTRICAL DRAWINGS FOR ALL DISCIPLINE-SPECIFIC WORK. | |
| 2. SITE SUBCONTRACTOR TO VERIFY INSTALLATION PROXIMITY TO SLOPE AND INFORM THE ENGINEER IMMEDIATELY IF DISCREPANCIES ARE FOUND BEFORE CONSTRUCTION RESUMES. | |
| 3. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE SURVEY DONE BY WESTWOOD PROFESSIONAL SERVICES MICHIGAN, LLC ON 09/04/2025 AND ARE GIVEN FOR THE CONVENIENCE OF THE SITE SUBCONTRACTOR. REFER TO SHEET ##### FOR MORE INFORMATION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE SITE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES AND PERFORM A PRIVATE UTILITY LOCATE. | |

| ACCESSIBILITY NOTE | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| CONTRACTOR SHALL CONDUCT PRE-CONSTRUCTION ACCESSIBILITY SITE WALK WITH EVGO PM TO DETERMINE EXTENTS OF PAVEMENT REHAB REQUIRED TO PROVIDE COMPLIANT PATH OF TRAVEL FROM THE EV PARKING AREA TO THE STORE ENTRANCE. | |

| GRADING KEYNOTES | |
|------------------|--------------------------------------------------------------------------------------------------------------------------------------|
| TAG | DESCRIPTION |
| ◇ | ACCESSIBLE LANDING AREA (DOOR, CURB RAMP, RAMP) AND ACCESSIBLE STALL / ACCESS AISLE SHALL HAVE LESS THAN 2% SLOPE IN ALL DIRECTIONS. |



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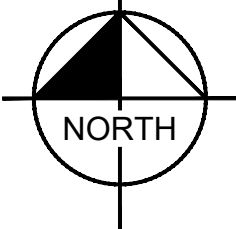
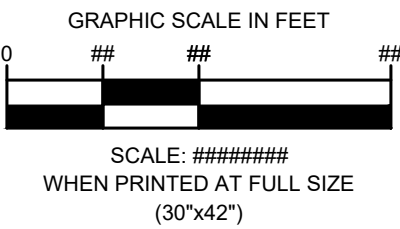
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GRADING PLAN

SHEET NUMBER

C4.0



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| UNLESS NOTED OTHERWISE, THE FOLLOWING NOTES RELATING TO THE "CIVIL DETAILS" SHEETS SHALL GOVERN. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | <div>EVgo</div> <div>FAST CHARGING</div> <div>EVGO 1661 E FRANKLIN AVE EL SEGUNDO, CA 90245</div> <div>Kimley»Horn</div> <div>3000 TOWN CENTER SUITE 2600, SOUTHFIELD, MI 48075 Main: (313) 572-1560 www.kimley-horn.com</div> <div>©2024 Kimley-Horn and Associates, Inc.</div> <div>STIPULATION FOR REUSE</div> <div>THIS PLAN WAS PREPARED FOR USE ON A SPECIFIC SITE AT: HOWELL, MI 48855 CONTEMPORANEOUSLY WITH ITS ISSUE DATE ON 10/01/2025 AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND/OR ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.</div> | | | | | | | | | |
| 1. COMPRESSIVE STRENGTH OF CONCRETE FOUNDATION SHALL BE A MINIMUM OF 2,500 PSI AT 28 DAYS WITH MAXIMUM W/CM RATIO OF 0.45 AND AIR-CONTENT OF 5% +/- 1.5%. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2. MINIMUM YIELD STRENGTH OF REINFORCEMENT TO BE 60,000 PSI (ASTM-A615). | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3. REFERENCE CIVIL AND ELEC. DRAWING FOR EQUIPMENT LAYOUT, LOCATION OF CONDUIT, ETC. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4. FINAL ANCHOR BOLT AND POLE DESIGN INCLUDING SIZE AND CONFIGURATION ARE BY MFR. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5. BEFORE STARTING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 6. NO GEOTECHNICAL ENGINEERING REPORT WAS PROVIDED BY THE OWNER. FOUNDATION DESIGN IS BASED ON A MINIMUM OF 1,500 PSF NET ALLOWABLE BEARING PRESSURE ON UNDISTURBED NATURAL SOIL OR COMPACTED FILL UNLESS OTHERWISE NOTED. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 7. UNLESS OTHERWISE DIRECTED BY THE OWNER, ALL FOUNDATION WORK RELATED TO INSTALLATION OF REBAR SHALL BE INSPECTED BY OTHERS. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 8. KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE DESIGN OF THE EQUIPMENT OR ANCHORAGE TO THE FOUNDATION. MANUFACTURER SHALL SUBMIT LOADS TO ENGINEER FOR RECORD KEEPING PURPOSES ONLY. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 9. DESIGN IS BASED ON THE SPECIFIC EQUIPMENT SHOWN IN THESE DRAWINGS AND ILLUSTRATED ON THE EVGO CUT SHEETS. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 10. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LOCAL DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 11. ALL FOUNDATIONS ARE TO INCLUDE COMPACTED SUBGRADE AND MINIMUM 6" COMPACTED STONE BASE UNLESS OTHERWISE SPECIFIED. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 12. BUILDING CODE: 2022 CBC | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DESIGN PARAMETERS (PER ASCE 7-22): | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| EXPOSURE CATEGORY: | | | | | | | | | | C | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| RISK CATEGORY: | | | | | | | | | | II | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SEISMIC PARAMETERS: | | | | | | | | | | Ss = 1.5g | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| SITE CLASS: | | | | | | | | | | D | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| NOTE: BOLLARDS ARE NOT DESIGNED FOR FULL 6 KIP IMPACT LOADS UNLESS OTHERWISE NOTED AS "VEHICULAR RATED". | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

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| <div></div> <div>NOTE: CONTRACTOR TO INSTALL GUARD POSTS WHERE PADMOUNT EQUIPMENT IS EXPOSED TO TRAFFIC. SPACE POSTS 3 TO 5 FEET APART WITH 2 FEET MINIMUM CLEARANCE TO PAD. POSTS MUST NOT BE LOCATED IN FRONT OF EQUIPMENT DOORS NOR INTERFERE WITH THE SWING OF DOORS.</div> | | | | | | | | | | SCALE N.T.S. | | 6 | | FULL DEPTH ASPHALT PAVEMENT DETAIL | | | | | | | | | | SCALE N.T.S. | | 8 | | | | | | | | | | | |
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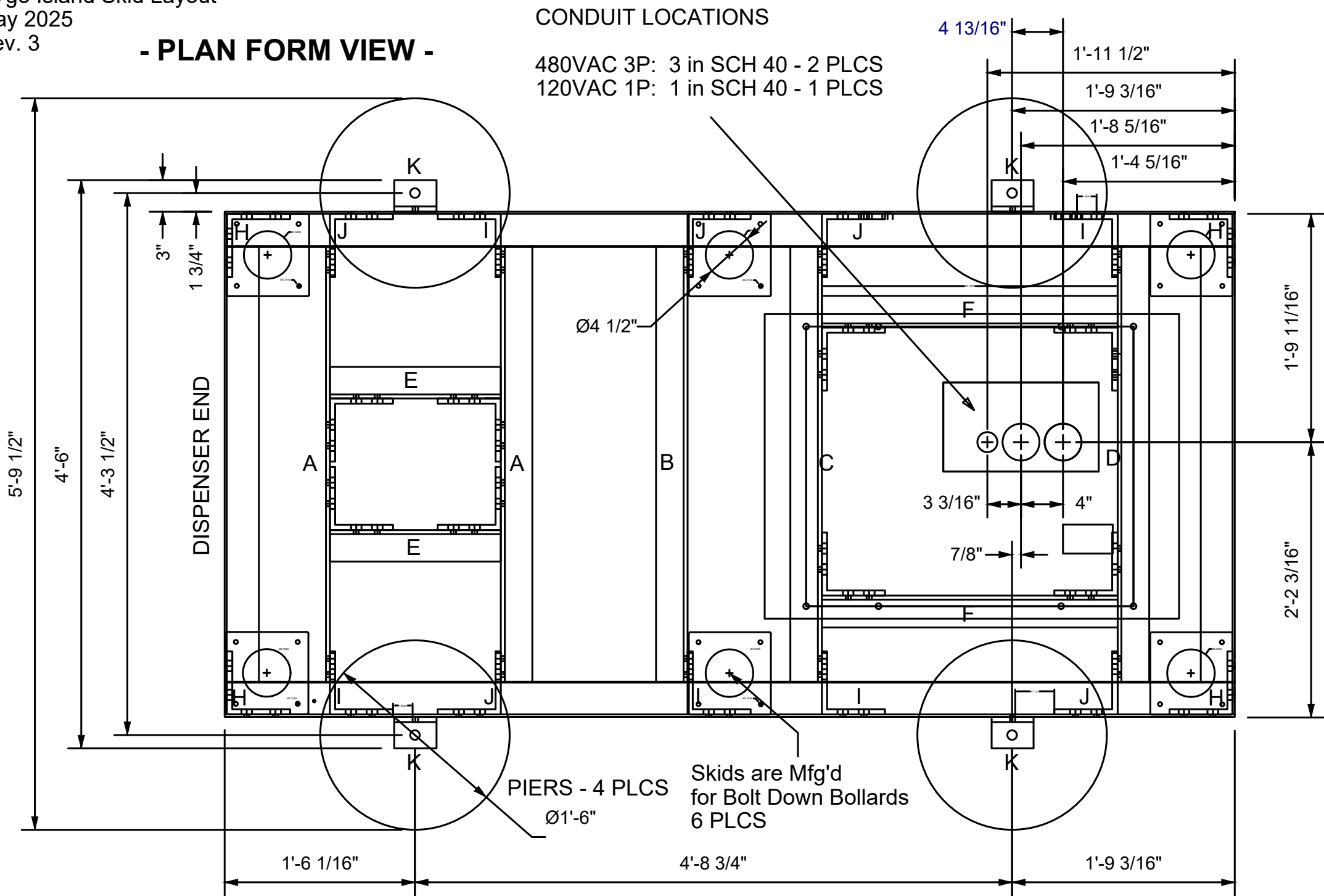
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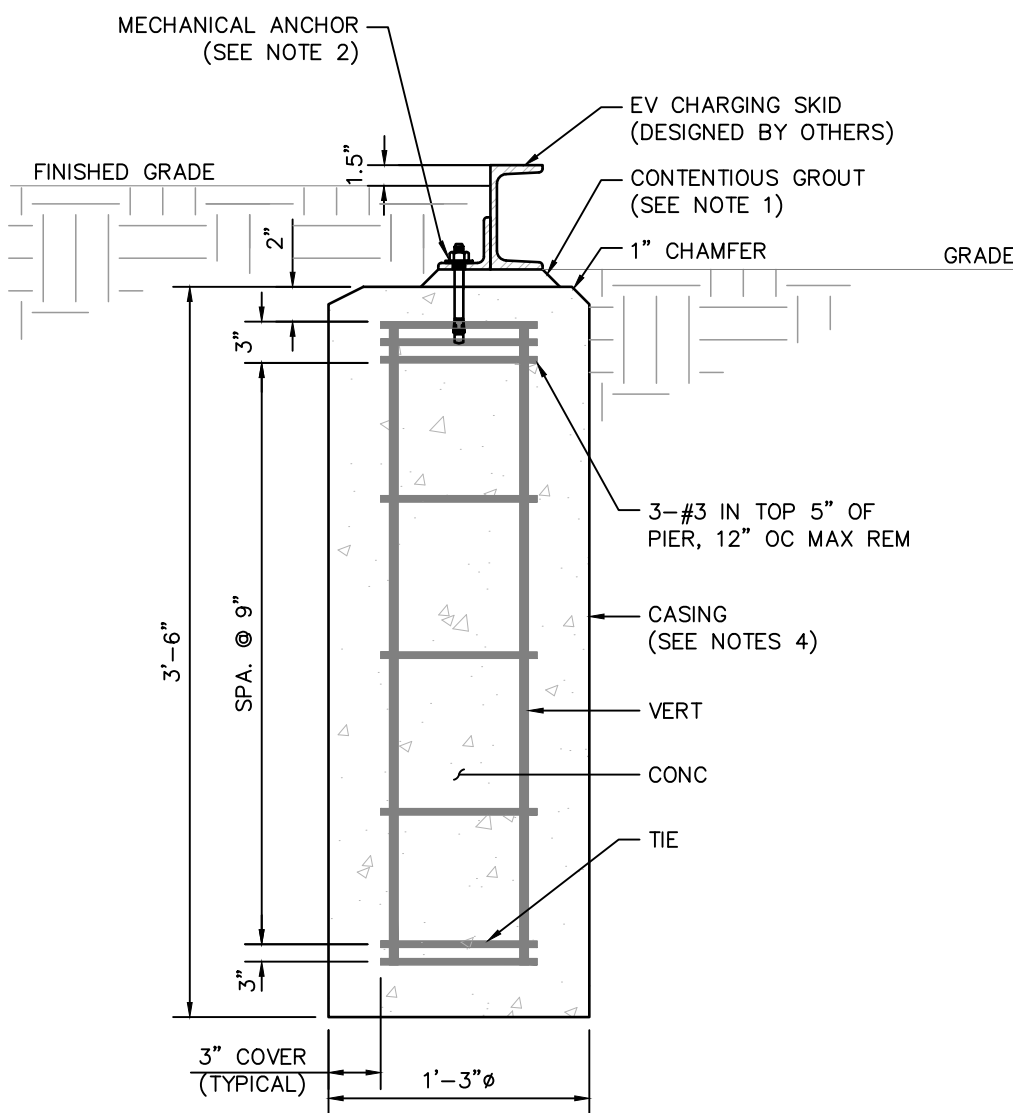
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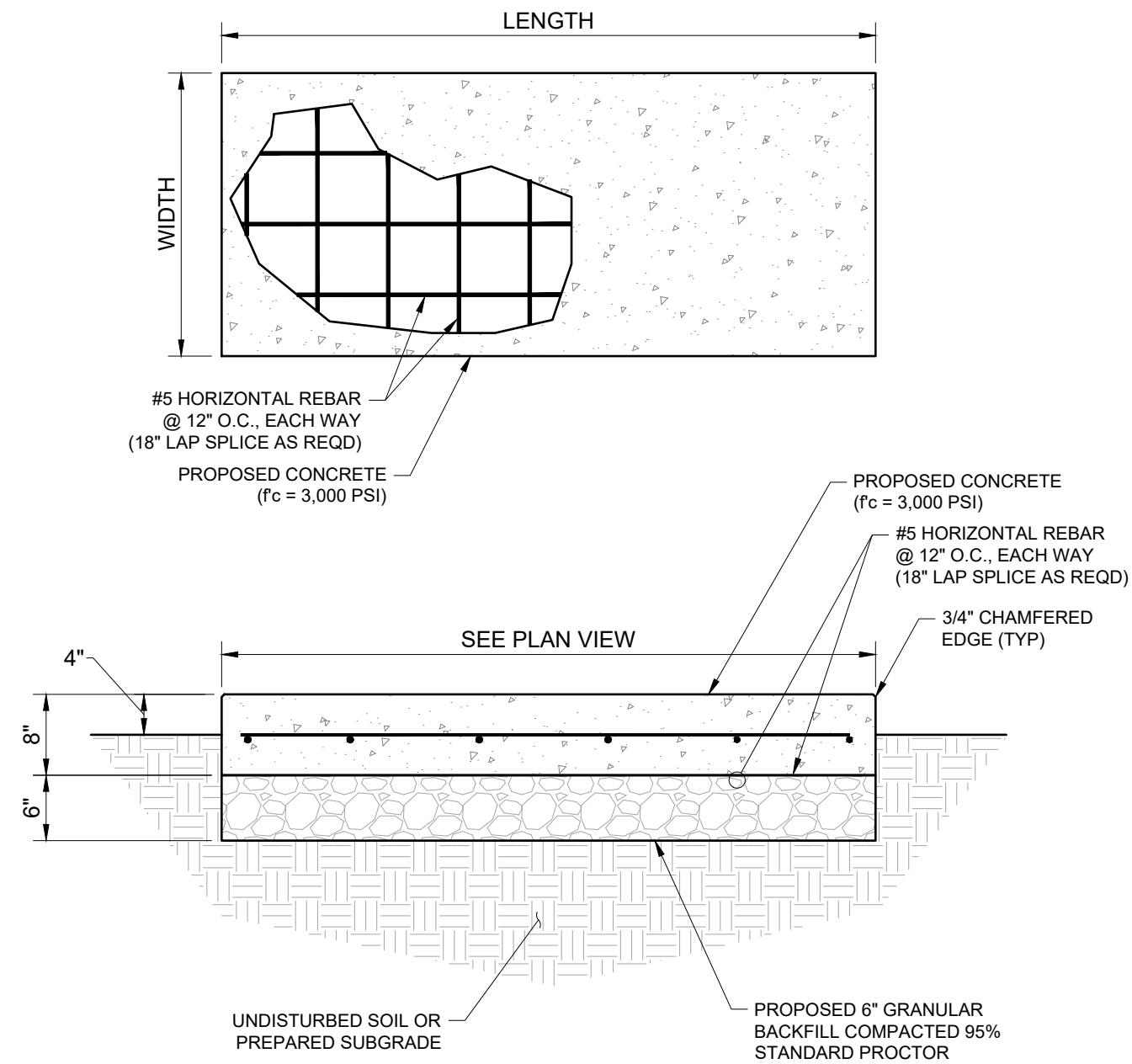


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- NOTES:
- CONTRACTOR TO FOLLOW ISLAND SKID GENERAL CONTRACTOR INSTALLATION GUIDELINES BY EVGO FOR INSTALLATION.
 - SHOULD SKID NEED TO BE LEVELED (MORE THAN 2% SLOPE IN ANY DIRECTION) CONTRACTOR SHALL INSTALL NON-SHRINK GROUT BETWEEN SKID FRAME AND CONCRETE FOOTING (1" MAX. THICKNESS). GROUT NOT REQUIRED IF SKID IS LEVEL WITHIN 2% SLOPE IN ALL DIRECTIONS.
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 - DRAWINGS DENOTE A GENERIC FOUNDATION CONFIGURATION AND ARE NOT TO SCALE. REFER TO DIMENSIONS AND BILL OF MATERIALS FOR MATERIAL SIZES AND QUANTITIES.
 - FOR LOCATIONS WHERE GROUNDWATER LEVEL IS HIGHER THAN THE PROPOSED EMBEDMENT DEPTH, A TEMPORARY CASING SHALL BE USED DURING INSTALLATION. THE CASING SHALL BE EXTRACTED AS THE CONCRETE IS PLACED. A HEAD OF CONCRETE SHALL BE MAINTAINED ABOVE THE BOTTOM OF THE CASING TO PREVENT WATER INTRUSION INTO THE CONCRETE BELOW THE CASING.

| CONCRETE PAD DIMENSIONS | | | |
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| PAD TYPE | L | W | t (THICKNESS) |
| SWITCHGEAR | 6'-9" | 3'-3" | 8" |
| | | | 21.6 S.F. |



- NOTES:
- SEE FLOOR PLAN IN REFERENCED SWITCHBOARD ASSEMBLY DRAWINGS ON SHEET ##### AND ELECTRICAL SHEETS FOR MOUNTING HOLE LOCATION AND SWITCHBOARD BAY DIMENSIONS.
 - SEE ELEVATION IN REFERENCED SWITCHBOARD ASSEMBLY DRAWINGS ON ELECTRICAL SHEETS FOR BASE CHANNEL DIMENSION.
 - MINIMUM 10 1/2" CONCRETE EDGE DISTANCE REQUIRED FOR PROPOSED ANCHORAGE.
 - CONTRACTOR TO MOUNT THE KEYSAFE BOX ON THE SWITCHGEAR.
 - CONTRACTOR SHALL COORDINATE REQUIRED UTILITY STUB OPENING / CONDUIT INSTALLATION WITH LOCAL UTILITY PROVIDER TO ENSURE PROPERTY READY FOR CONSTRUCTION RELEASE IS PROVIDED.

8' ISLAND EQUIPMENT SKID - LAYOUT PLAN

SCALE
N.T.S.

1

REINFORCED CONCRETE FOOTING DETAIL

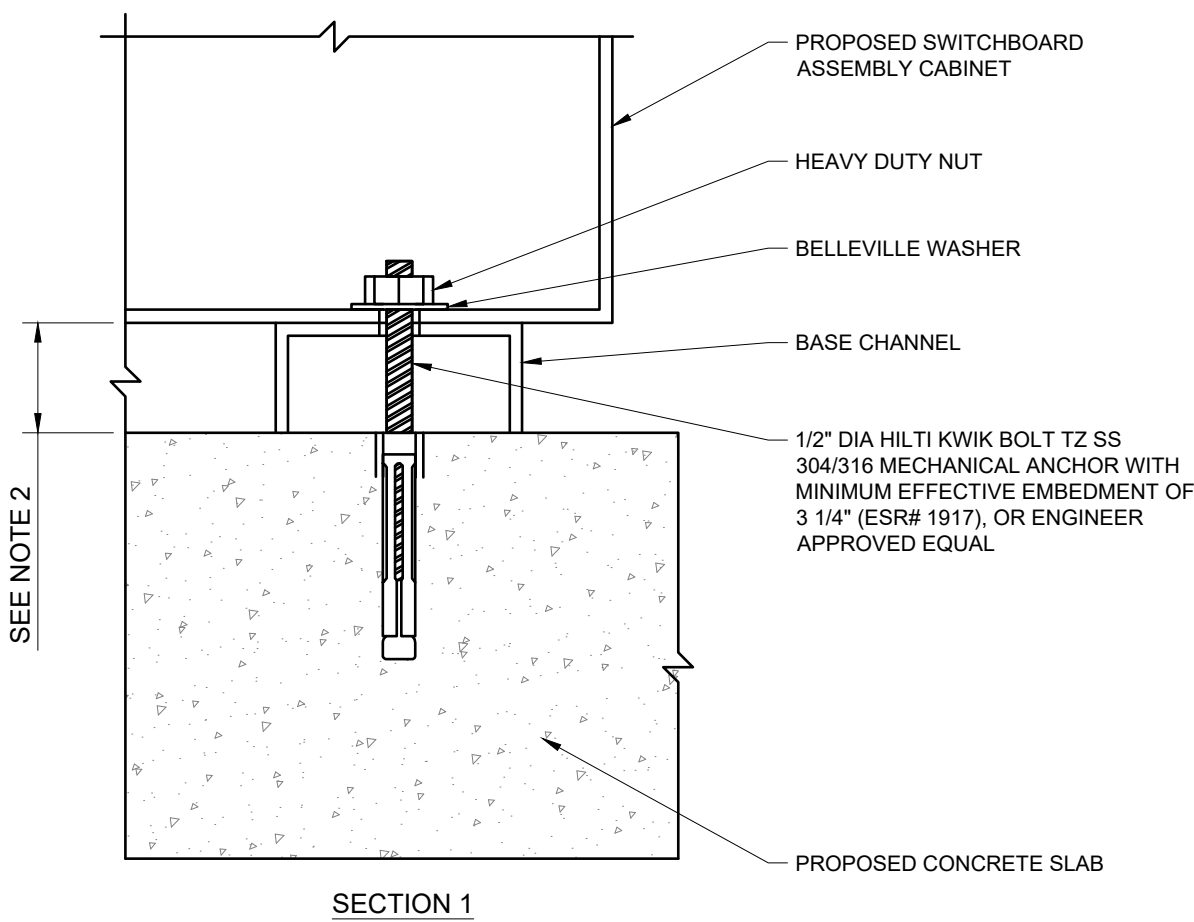
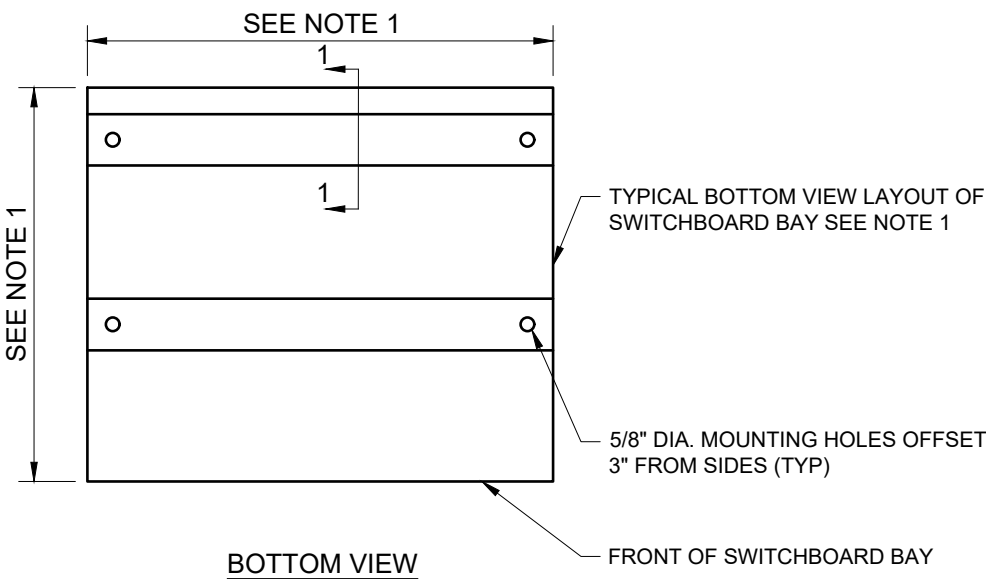
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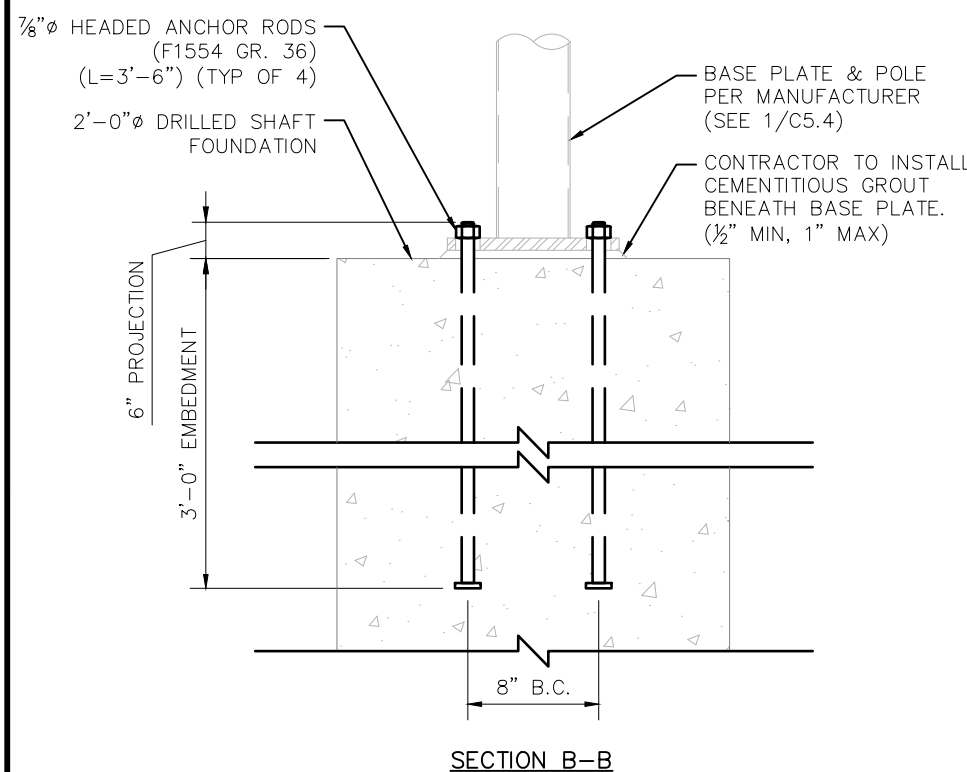
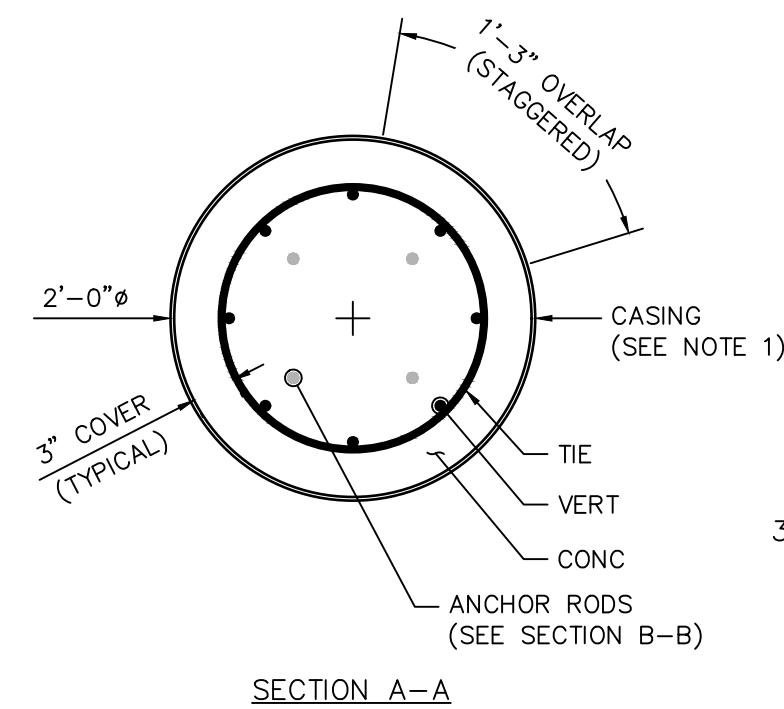
EQUIPMENT PAD

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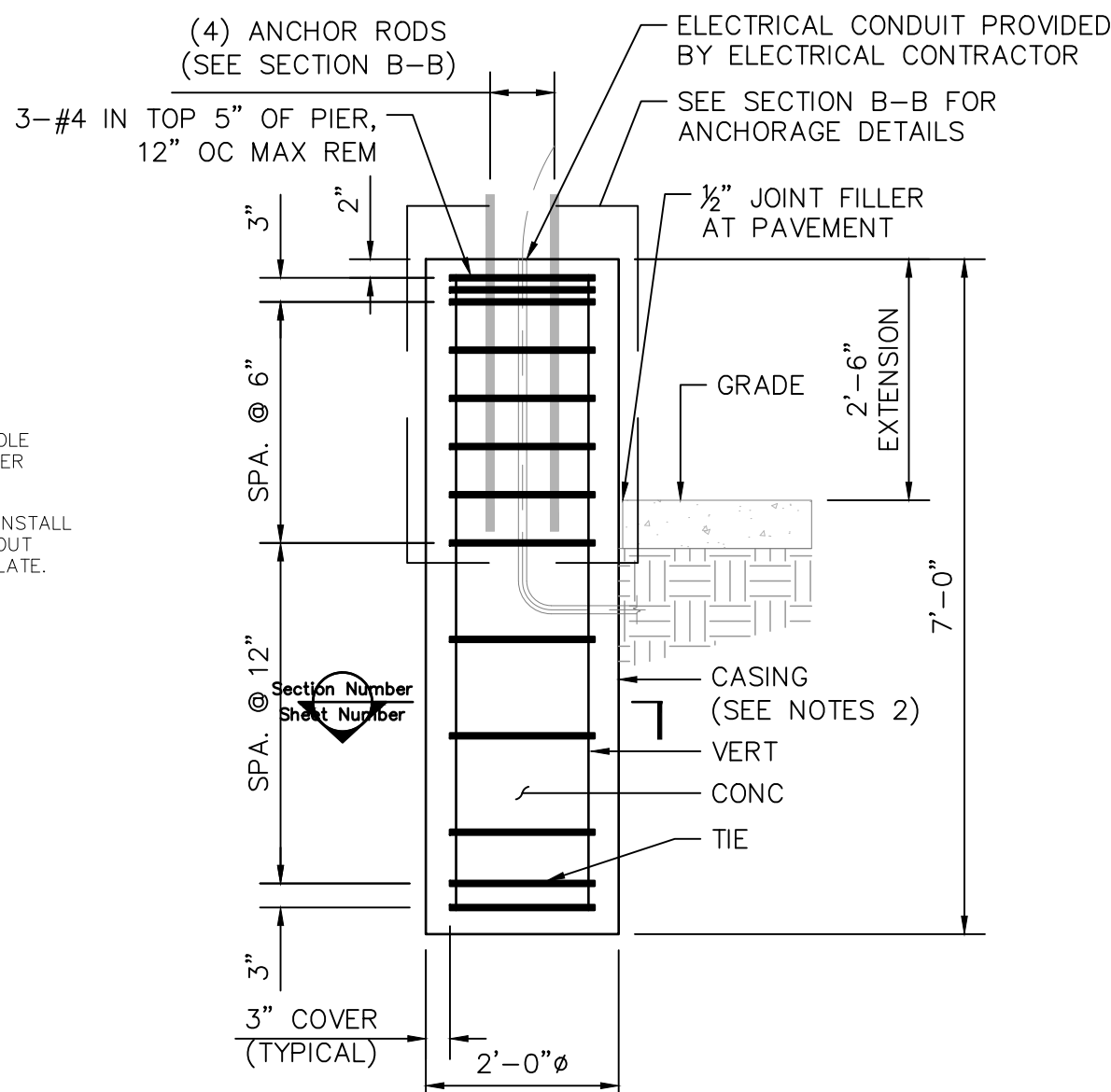


- NOTES:
- SEE FLOOR PLAN IN REFERENCED SWITCHBOARD ASSEMBLY DRAWINGS ON SHEET ##### AND ELECTRICAL SHEETS FOR MOUNTING HOLE LOCATION AND SWITCHBOARD BAY DIMENSIONS.
 - MINIMUM 10 1/2" CONCRETE EDGE DISTANCE REQUIRED FOR PROPOSED ANCHORAGE.
 - CONTRACTOR TO MOUNT THE KEYSAFE BOX ON THE SWITCHGEAR.
 - CONTRACTOR SHALL COORDINATE REQUIRED UTILITY STUB OPENING / CONDUIT INSTALLATION WITH LOCAL UTILITY PROVIDER TO ENSURE PROPERTY READY FOR CONSTRUCTION RELEASE IS PROVIDED.



| BILL OF MATERIALS - DRILLED SHAFT | | | |
|-----------------------------------|------------------|-------------------------|----------|
| MARK ID | DESCRIPTION | MATERIAL AND SIZE | QUANTITY |
| CONC | 3,000 PSI MIX | 0.814 C.Y. | 1 |
| VERT | VERTICAL REBAR | ASTM A615-60 #5 x 6'-6" | 8 |
| TIE | TIE REBAR | ASTM A615-60 #4 x 6'-3" | 15 |
| CASING | TEMPORARY CASING | 4'-6"Ø x ½" | 1 |

- NOTES:
- DRAWINGS DENOTE A GENERIC FOUNDATION CONFIGURATION AND ARE NOT TO SCALE. REFER TO DIMENSIONS AND BILL OF MATERIALS FOR MATERIAL SIZES AND QUANTITIES.
 - FOR LOCATIONS WHERE GROUNDWATER LEVEL IS HIGHER THAN THE PROPOSED EMBEDMENT DEPTH, A TEMPORARY CASING SHALL BE USED DURING INSTALLATION. THE CASING SHALL BE EXTRACTED AS THE CONCRETE IS PLACED. A HEAD OF CONCRETE SHALL BE MAINTAINED ABOVE THE BOTTOM OF THE CASING TO PREVENT WATER INTRUSION INTO THE CONCRETE BELOW THE CASING.



SCALE
N.T.S.

5

SWITCHBOARD MOUNTING

SCALE
N.T.S.

4

LIGHT POST FOUNDATION AND ANCHORAGE

SCALE
N.T.S.

6

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DESIGNED BY: EGB

DRAWN BY: GHH

CHECKED BY: RS

KHA PROJECT No. 017777049


DOCUMENT DATE: October 1, 2025

SHEET TITLE

CIVIL DETAILS

SHEET NUMBER

C5.2

| | | | |
|-----------------------------------------------------------------------------------|-------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|
|  | Project 24-41453-0 CHESAPEAKE BAY POLE Submitted By JACK H DUFFY | Catalog Number: RSX1 LED P2 40K R3 MVOLT RPA PE DBLXD Note: Matching lumens will not make time for arrival on site changed to P2 to reduce lead time Est Ship date 3 weeks | Type |
|-----------------------------------------------------------------------------------|-------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|

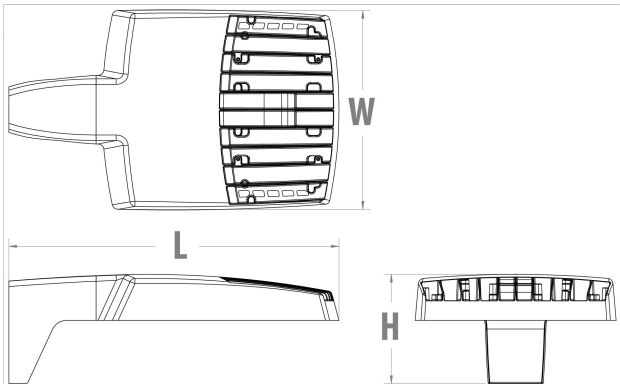


RSX1 LED Area Luminaire



Specifications

| | |
|----------------------|-----------------------------------------------|
| EPA (ft²@0°): | 0.57 ft² (0.05 m²) |
| Length: | 21.8" (55.4 cm) (SPA mount) |
| Width: | 13.3" (33.8 cm) |
| Height: | 3.0" (7.6 cm) Main Body 7.2" (18.4 cm) Arm |
| Weight: (SPA mount): | 22.0 lbs (10.0 kg) |



| |
|----------------|
| Catalog Number |
| Notes |
| Type |

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details



Ordering Information

EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD


| RSX1 LED | | | | | |
|----------|---------------------|-------------------|------------------------------------------|---------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------|
| Series | Performance Package | Color Temperature | Distribution | Voltage | Mounting |
| RSX1 LED | P1 | 30K 3000K | R2 Type 2 Wide | MVOLT (120V-277V) ² | SPA Square pole mounting (3.0" min. SQ pole for 1 at 90°, 3.5" min. SQ pole for 2, 3, 4 at 90°) |
| | P2 | 40K 4000K | R3 Type 3 Wide | HVOLT (347V-480V) ³ | RPA Round pole mounting (3.2" min. dia. RND pole for 2, 3, 4 at 90°, 3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°) |
| | P3 | 50K 5000K | R3S Type 3 Short | XVOLT (277V-480V) ⁴ | MA Mast arm adaptor (fits 2-3/8" OD horizontal tenon) |
| | P4 | | R4 Type 4 Wide | (use specific voltage for options as noted) | IS Adjustable slipfitter (fits 2-3/8" OD tenon) ⁶ |
| | | | R5 Type 5 Wide ¹ | 120 ³ 277 ⁵ | WBA Wall bracket ¹ |
| | | | R5S Type 5 Short ¹ | 208 ³ 347 ⁵ | WBASC Wall bracket with surface conduit box |
| | | | R5S Type 5 Short ¹ | 240 ³ 480 ⁵ | AASP Adjustable tilt arm square pole mounting ⁶ |
| | | | AFR Automatic Front Row | | AARP Adjustable tilt arm round pole mounting ⁶ |
| | | | AFRR90 Automatic Front Row Right Rotated | | AAWB Adjustable tilt arm with wall bracket ⁶ |
| | | | AFRL90 Automatic Front Row Left Rotated | | AAWSC Adjustable tilt arm wall bracket and surface conduit box ⁶ |

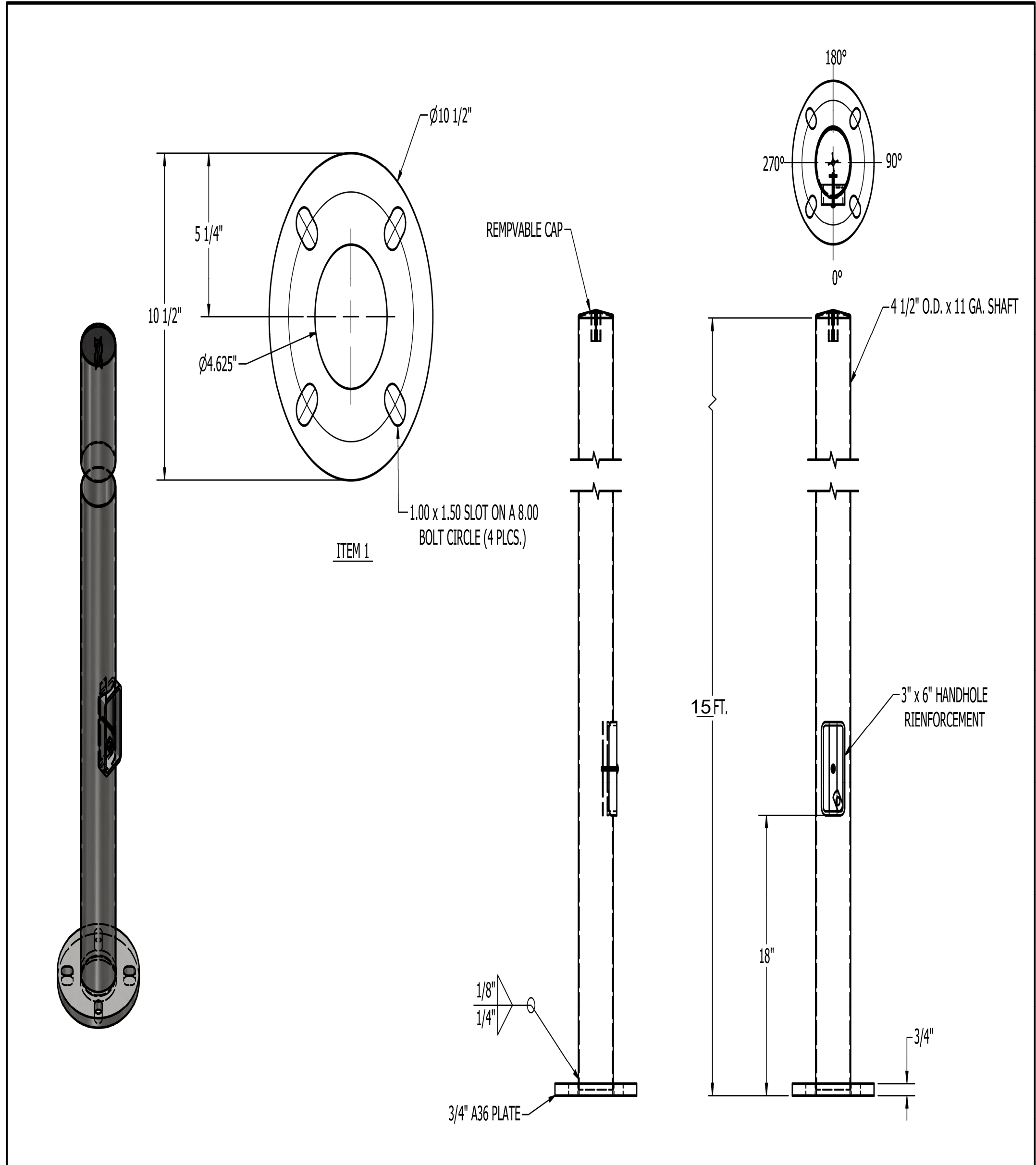
| Options | | Finish |
|-----------------------------------------------------------------------------------------------------------|--|----------------------------------|
| Shipped Installed | | Shipped Installed |
| HS House-side shield ⁷ | | DDBXD Dark Bronze |
| PE Photocontrol, button style ^{8,9} | | DBLXD Black |
| PER7 Seven-wire twist-lock receptacle only (no controls) ^{8,10,11} | | DNAXD Natural Aluminum |
| SF Single fuse (120, 277, 347) ⁵ | | DWHXD White |
| DF Double fuse (208, 240, 480) ⁵ | | DOBTD Textured Dark Bronze |
| SPD20KV 20KV Surge pack (10KV standard) | | DBLXD Textured Black |
| FAO Field adjustable output ⁹ | | DNATXD Textured Natural Aluminum |
| DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ⁹ | | DWHGXD Textured White |
| Shipped Separately (requires some field assembly) | | |
| EGS External glare shield ⁷ | | |
| EGFV External glare full visor (360° around light aperture) ⁷ | | |
| BS Bird spikes ¹⁶ | | |



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Lithonia RSX1 Area LED
Rev. 06/27/23
Page 1 of 9

| | | | |
|-------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|------|
|  | Project 24-41453-0 CHESAPEAKE BAY POLE Submitted By JACK H DUFFY | Catalog Number: SRP4.5-11-15 Note: Acuity Pole spec'ed will not meet lead time, 2 week lead time (1 @ 90 Drill pattern 8 DRILLING) | Type |
|-------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|------|



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| | | THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION. DISSEMINATION OR UNAUTHORIZED REPRODUCTION IS PROHIBITED WITHOUT THE EXPRESS WRITTEN CONSENT OF FABRICATED METALS LLC. | TOLERANCES: UNLESS OTHERWISE SPECIFIED: FRACTIONAL ±.010 DECIMAL ±.005 PLACE DEC. ±.005 ANGULAR ±1° | DRAWN BY: P. DAUGHERTY APPROVED: PD EOK: 4/14/2020 SCALE: 1/8" = 1" DATE: 1/2/2019 | UTILITY METALS (A DIVISION OF FABRICATED METALS LLC.) DESCRIPTION: 4.5" x 11 GA. ROUND POLE | PART NO. SRP4.5-11- DWG NO. G-8868-02 REV 02 |
|--|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|-------------------------------------------------------------|

| REV/DATE | BY | DESCRIPTION |
|----------|---------|--------------------------------|
| 02 | 4/14/20 | DL CHANGE BASE PLATE TO ROUND |
| 01 | 7/24/19 | KC CHANGE BASE PLATE TO SQUARE |

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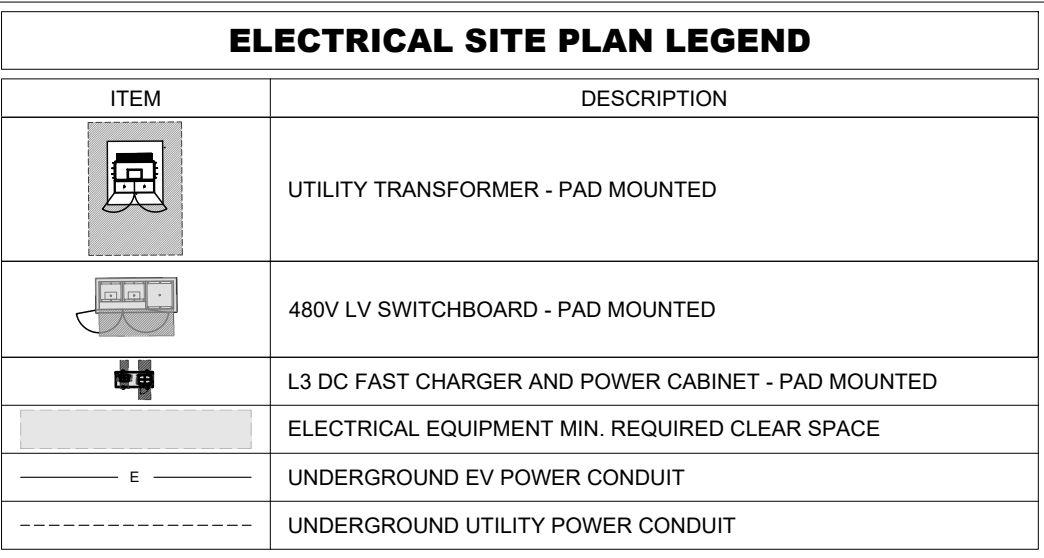
CIVIL DETAILS

SHEET NUMBER
C5.3

LIGHT POLE DETAIL

SCALE
N.T.S.

4



CONTRACTOR TO VERIFY THAT LOCATIONS OF ALL PROPOSED ELECTRICAL EQUIPMENT AND EV INFRASTRUCTURE ARE IN COMPLIANCE WITH ALL LOCAL CODES, SETBACKS, & BUFFERS.

1. UTILITY CONNECTION TO BE MADE UNDER UTILITY PROVIDED STANDARDS, CONFIRM FINAL UTILITY DESIGN PRIOR TO CONSTRUCTION. ALL WORK PERFORMED REGARDING ELECTRICAL SERVICE SHALL MEET ALL UTILITY PROVIDED STANDARDS AND SPECIFICATIONS.
2. ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ONSITE SHALL BE DONE IN ACCORDANCE WITH NEC 2023 AND ALL STANDARDS BEING ENFORCED BY ALL APPLICABLE JURISDICTIONAL REQUIREMENTS AT TIME OF CONSTRUCTION.
NO PART OF THIS DRAWING OR SPECIFICATION IS INTENDED TO ALLOW A VIOLATION OF PHYSICAL WORKING SPACE REQUIREMENTS AROUND ELECTRICAL EQUIPMENT AS REQUIRED PER NEC 110.26.
3. CONDUIT ROUTING IS ONLY DIAGONMATICAL. INSTALLATION OF CONDUIT SHALL BE COORDINATED TO AVOID INTERFERING WITH UNDERGROUND INFRASTRUCTURE. CONDUIT ROUTING AND CABLE ROUTING DETAILS TO BE APPROVED BY ENGINEER. HAND DIG AROUND ALL EXISTING UTILITIES. CONDUIT SHALL BE HAND DUG TRENCH IN AREAS WITH EXISTING UNDERGROUND UTILITIES.
4. CONTRACTOR TO LOCATE JUNCTION BOX OR APPROVED ALTERNATIVE FOR SITE SPECIFIC RUN LENGTHS AND BENDS PER NEC 314.26, 352.26, AND 356.26. JUNCTION BOXES SHALL BE TRAFFIC RATED. CONDUIT SHALL BE TRAFFIC RATED. MINIMUM OF 1 FOOT OF CONCRETE REQUIRED AROUND ALL JUNCTION BOXES.
5. SEE SHEET E30 FOR CONDUIT AND CONDUCTOR SIZES AND QUANTITIES.

1. SEE ADDITIONAL ELECTRICAL NOTES AND SPECIFICATIONS ON SHEET E1.0.
2. CONTRACTOR TO BORE OR HAND TRENCH CONDUIT AS REQUIRED PER NEC.
3. ALL EQUIPMENT SHALL BE INSTALLED PER CLIENT DESIGN STANDARDS. SEE APPLICABLE STANDARDS FOR DETAILS.
4. LOW VOLTAGE SWITCHBOARD (277/480V-3PH) CONDUITS STUBBED TO THIS LOCATION SHALL BE GROUPED TOGETHER TO SUPPORT SWITCHBOARD CONFIGURATION (SECONDARY ENTRANCE WINDOW AND DISTRIBUTION WINDOWS). REFER TO ELECTRICAL SHEETS FOR PROPOSED AMPACITY RATINGS OF SWITCHBOARD EQUIPMENT.
5. PAD MOUNTED TRANSFORMER (277/480V-3PH SECONDARY), CONDUITS STUBBED TO THIS LOCATION SHALL BE GROUPED TOGETHER TO SUPPORT TRANSFORMER. REFER TO ELECTRICAL SHEETS FOR PROPOSED RATINGS OF TRANSFORMER EQUIPMENT.

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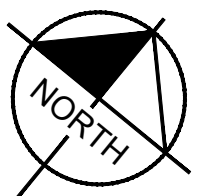
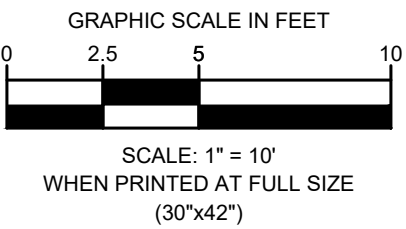
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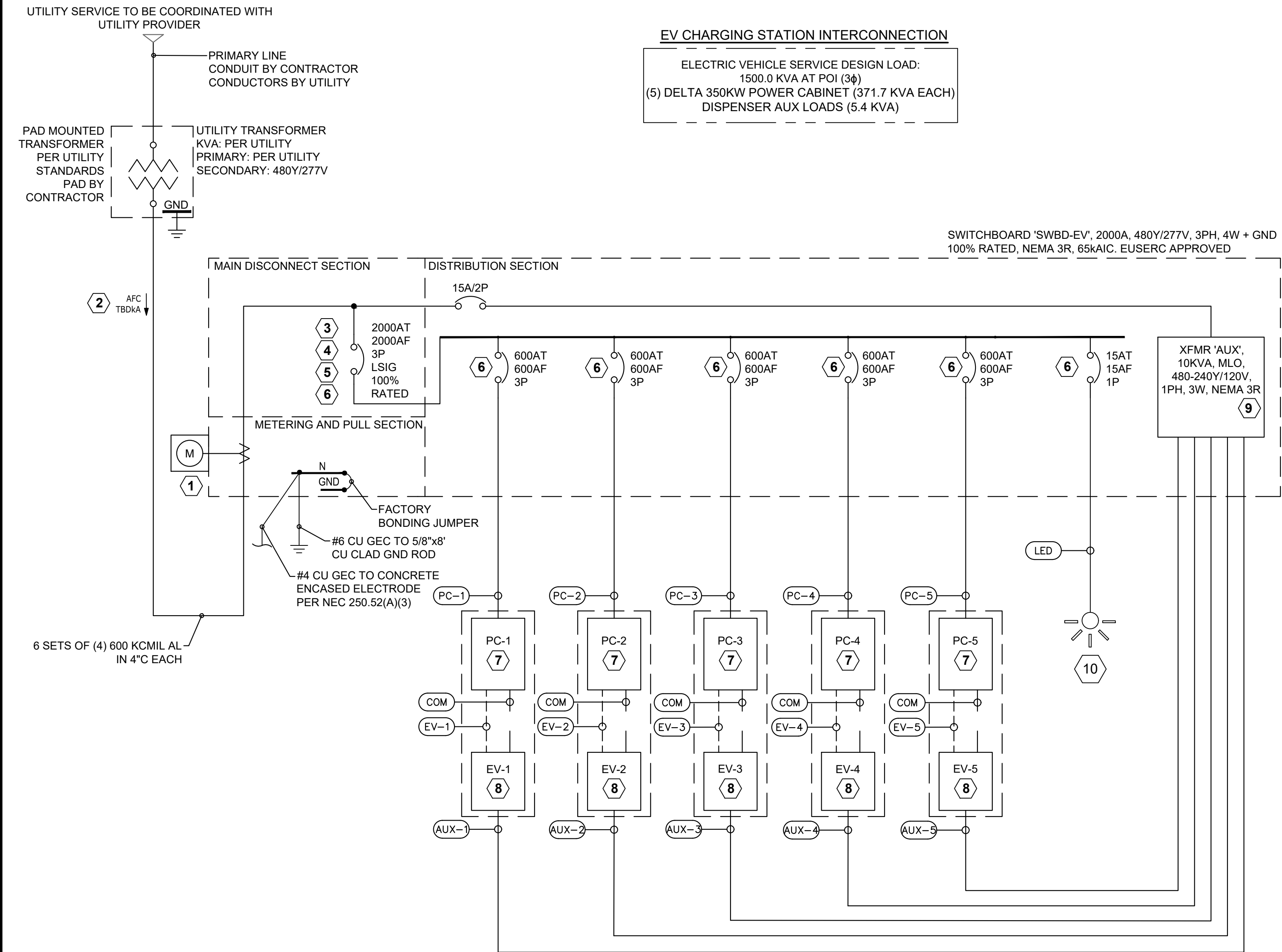
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ELECTRICAL SITE PLAN

SHEET NUMBER

E2.0





PROPOSED ELECTRICAL SINGLE LINE DIAGRAM

| AC WIRE AND CONDUIT SCHEDULE | | | | | | | | | | | | | |
|------------------------------|---------|------------|-------------|-------------|-------------------------|------------------|-------------------|-----------------|--------------------------|---------------------------|-----------------|---------------|----------------|
| TO | FROM | CIRCUIT ID | VOLTAGE (V) | CURRENT (A) | NUMBER OF PARALLEL SETS | CONDUIT MATERIAL | CONDUIT SIZE (IN) | INSULATION TYPE | PHASE CONDUCTORS PER SET | NEUTRAL CONDUCTOR PER SET | EGC PER CONDUIT | DISTANCE (FT) | % VOLTAGE DROP |
| PC-1 | SWBD-EV | PC-1 | 480 | 447 | 2 | PVC SCH 40 | 3 | THWN-2 | (3) 500 KCMIL AL | N/A | #2/0 AWG AL | 15 | 0.13% |
| PC-2 | SWBD-EV | PC-2 | 480 | 447 | 2 | PVC SCH 40 | 3 | THWN-2 | (3) 500 KCMIL AL | N/A | #2/0 AWG AL | 25 | 0.18% |
| PC-3 | SWBD-EV | PC-3 | 480 | 447 | 2 | PVC SCH 40 | 3 | THWN-2 | (3) 500 KCMIL AL | N/A | #2/0 AWG AL | 48 | 0.30% |
| PC-4 | SWBD-EV | PC-4 | 480 | 447 | 2 | PVC SCH 40 | 3 | THWN-2 | (3) 500 KCMIL AL | N/A | #2/0 AWG AL | 15 | 0.10% |
| PC-5 | SWBD-EV | PC-5 | 480 | 447 | 2 | PVC SCH 40 | 3 | THWN-2 | (3) 500 KCMIL AL | N/A | #2/0 AWG AL | 40 | 0.16% |
| EV-1 | AUX | AUX-1 | 120 | 8.9 | 1 | PVC SCH 40 | 1 | THWN-2 | (1) #8 AWG CU | (1) #8 AWG CU | #8 AWG CU | 20 | 0.27% |
| EV-2 | AUX | AUX-2 | 120 | 8.9 | 1 | PVC SCH 40 | 1 | THWN-2 | (1) #8 AWG CU | (1) #8 AWG CU | #8 AWG CU | 32 | 0.39% |
| EV-3 | AUX | AUX-3 | 120 | 8.9 | 1 | PVC SCH 40 | 1 | THWN-2 | (1) #8 AWG CU | (1) #8 AWG CU | #8 AWG CU | 54 | 0.61% |
| EV-4 | AUX | AUX-4 | 120 | 8.9 | 1 | PVC SCH 40 | 1 | THWN-2 | (1) #8 AWG CU | (1) #8 AWG CU | #8 AWG CU | 15 | 0.21% |
| EV-5 | AUX | AUX-5 | 120 | 8.9 | 1 | PVC SCH 40 | 1 | THWN-2 | (1) #8 AWG CU | (1) #8 AWG CU | #8 AWG CU | 38 | 0.45% |
| RSX1 | SWBD-EV | LED | 277 | 1.81 | 1 | PVC SCH 40 | 1 | THWN-2 | (1) #12 AWG CU | (1) #12 AWG CU | #12 AWG CU | 55 | 0.18% |

| DC WIRE SCHEDULE | | | | | | |
|------------------|------|------------|-------------|-------------|---------------------------------------------------------------|----------------|
| TO | FROM | CIRCUIT ID | VOLTAGE (V) | CURRENT (A) | CONDUCTORS | % VOLTAGE DROP |
| EV-1 | PC-1 | EV-1 | 950 | 540 | (8) 500 KCMIL AL CONDUCTORS PRE-WIRED IN SKID BY MANUFACTURER | 0.020% |
| EV-2 | PC-2 | EV-2 | 950 | 540 | (8) 500 KCMIL AL CONDUCTORS PRE-WIRED IN SKID BY MANUFACTURER | 0.020% |
| EV-3 | PC-3 | EV-3 | 950 | 540 | (8) 500 KCMIL AL CONDUCTORS PRE-WIRED IN SKID BY MANUFACTURER | 0.020% |
| EV-4 | PC-4 | EV-4 | 950 | 540 | (8) 500 KCMIL AL CONDUCTORS PRE-WIRED IN SKID BY MANUFACTURER | 0.020% |
| EV-5 | PC-5 | EV-5 | 950 | 540 | (8) 500 KCMIL AL CONDUCTORS PRE-WIRED IN SKID BY MANUFACTURER | 0.020% |

| COMMUNICATIONS CABLE AND CONDUIT SCHEDULE | | | | |
|-------------------------------------------|------|------------|-------------------------------------------|---------------|
| TO | FROM | CIRCUIT ID | CABLE | DISTANCE (FT) |
| EV-1 | PC-1 | COM | APCV+CU PRE-WIRED IN SKID BY MANUFACTURER | < 25 |
| EV-2 | PC-2 | COM | APCV+CU PRE-WIRED IN SKID BY MANUFACTURER | < 25 |
| EV-3 | PC-3 | COM | APCV+CU PRE-WIRED IN SKID BY MANUFACTURER | < 25 |
| EV-4 | PC-4 | COM | APCV+CU PRE-WIRED IN SKID BY MANUFACTURER | < 25 |
| EV-5 | PC-5 | COM | APCV+CU PRE-WIRED IN SKID BY MANUFACTURER | < 25 |

WIRE AND CONDUIT SCHEDULES

| KEYED NOTES | |
|-------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1 | UTILITY COMPLIANT SWITCHBOARD MOUNTED REMOTE METERING COMPARTMENT. CTs IN UTILITY COMPLIANT CT SECTION OF SWITCHBOARD. SWITCHBOARD PROVIDED BY EVGO. |
| 2 | AFC (AVAILABLE FAULT CURRENT) IS PENDING FROM UTILITY. |
| 3 | LONG, SHORT, INSTANTANEOUS, GROUND FAULT EQUIPPED BREAKER PER NEC 230.95. |
| 4 | REFER TO COORDINATION STUDY FOR OCPD TRIP SETTINGS. |
| 5 | MAIN BREAKER IS REQUIRED TO INCLUDE MAINTENANCE MODE FOR ARC ENERGY REDUCTION IN ACCORDANCE WITH NEC 240.87. |
| 6 | ALL OVERCURRENT PROTECTION DEVICES WILL HAVE THE SAME FAULT CURRENT RATING AS THE RATING OF THE PANEL, DISCONNECT, OR SWITCHGEAR LOCATED WITHIN. |
| 7 | DELTA 350 KW POWER CABINET, 369 KVA, NEMA 3R INPUT: 447A, 480VAC, 3P/3W OUTPUT: 150-950VDC, 540A MAX INSTALLED ON PRE-FABRICATED AND MANUFACTURER WIRED SKID |
| 8 | DELTA 350KW DISPENSER NEMA 3R 950VDC MAX INSTALLED ON PRE-FABRICATED AND MANUFACTURER WIRED SKID |
| 9 | AUXILIARY TRANSFORMER 'AUX' NEMA 3R ENCLOSURE OR APPROVED EQUAL. INTERNAL TO SWITCHBOARD, PRE-WIRED BY MANUFACTURER. SEE SWITCHBOARD DRAWINGS FOR MORE DETAILS. |
| 10 | (2) RSX1 POLE MOUNTED LIGHT FIXTURE ON A SHARED LIGHTING CIRCUIT SEE SITE PLAN FOR LOCATION SEE DETAIL FOR MORE INFORMATION |

| EQUIPMENT PROCUREMENT NOTES | |
|----------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| EQUIPMENT PROVIDED BY EVGO: DELTA POWER CABINETS DELTA POWER DISPENSERS SWITCHBOARD DELTA COMMUNICATIONS CABLE | EQUIPMENT PROVIDED BY CONTRACTOR: CABLES CABLE TERMINATIONS CONDUITS AND FITTINGS UTILITY UNDERGROUND STRUCTURES AND PADS ADDITIONAL EQUIPMENT AS SPECIFIED ON THESE PLANS |

| GENERAL NOTES | |
|---------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. | ALL EQUIPMENT SHALL BE INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED. ALL MATERIAL SHALL BE IN NEW CONDITION AND APPROVED BY THE ENGINEER. |
| 2. | ALL EQUIPMENT SHALL BE NRTL LISTED. |
| 3. | ALL EQUIPMENT WIRING AND GROUNDING METHODS SHALL CONFORM TO THE MANUFACTURER'S RECOMMENDED PRACTICES AND INSTALLATION INSTRUCTIONS. |
| 4. | ALL SWITCHBOARDS AND PANELBOARDS SHALL HAVE ARC FLASH WARNING LABELS WITH APPLICABLE INCIDENT ENERGY LEVELS, WORKING DISTANCES, AND REQUIRED PPE IN ACCORDANCE WITH NFPA 70E. |
| 5. | EXPOSED NON-CURRENT CARRYING METAL PARTS OF EQUIPMENT AND ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH NEC 250.134 AND 250.136(A). |
| 6. | COORDINATE DATE, TIME, AND LENGTH OF ANY REQUIRED FACILITY SHUTDOWNS WITH OWNER PRIOR TO CONSTRUCTIONS. |
| 7. | CONDUITS UNDERGROUND SHALL BE SCHEDULE 40 PVC, UNLESS OTHERWISE NOTED. CONDUIT ELBOWS SHALL HAVE LONG RADIUS SWEEPS. |
| 8. | ALL EQUIPMENT SHALL BE FURNISHED WITH TERMINALS RATED FOR 75°C OR GREATER. LUGS SHALL BE DUAL-RATED FOR COPPER/ALUMINUM CONDUCTORS. ALL ALUMINUM CONDUCTOR TERMINATIONS MUST BE COATED PER MANUFACTURERS INSTRUCTIONS. |
| 9. | CONDUIT ROUTING AND EQUIPMENT LOCATIONS ARE DIAGRAMMATIC ONLY, AND SHALL BE COORDINATED TO AVOID INTERFERENCES WITH OTHER UTILITIES/UNDERGROUND INSTALLATIONS. CONTRACTOR IS RESPONSIBLE FOR FIELD CHECKING AND MAKING ALL NECESSARY OFFSETS AS REQUIRED. |
| 10. | NO PART OF THIS DRAWING OR SPECIFICATIONS IS INTENDED TO ALLOW A VIOLATION OF PHYSICAL WORKING SPACE REQUIREMENTS AROUND ELECTRICAL EQUIPMENT AS REQUIRED PER NEC 110.26. |
| 11. | INSTALL PULL-BOXES AS REQUIRED PER NEC 314.28. ALL BOXES SHALL BE TRAFFIC RATED WHERE SUBJECT TO VEHICULAR TRAFFIC. MIN ONE (1) FEET OF CONCRETE IS REQUIRED AROUND ALL BOXES. PROVIDE ADDITIONAL PULL-BOXES AS REQUIRED TO COMPLY WITH NEC 352.26 & 356.26 |
| 12. | CONTRACTOR SHALL HAND DIG AROUND ALL EXISTING UTILITIES UNLESS OTHERWISE NOTED. |
| 13. | CONTRACTOR TO PROVIDE ULINE WALL-MOUNT KEY LOCK BOX MODEL #H-9880 MOUNTED TO THE INSIDE OF SWBD-EV. |
| 14. | COMMUNICATIONS CABLE PROVIDED BY EVGO, CABLE LENGTHS MANUFACTURED IN INCREMENTS OF 25FT. |

| SWITCHBOARD SWBD-EV SCHEDULE | | | | | | | | | | | | | | | | | | | | | |
|-------------------------------------------------------------------|---------|------|----------------|-------------------|--------|---|---------|--------|-----------|--------|--------|-----------------|---------|------|----------------------------|--------|--------|--------|--|--|--|
| Volts: 480Y/277V Phase: 3 Wire: 4 Hertz: 60 | | | | | | | | | | | | | | | | | | | | | |
| 2000A MCB Main AIC: 65K Branch AIC: 65K ENCL. (NEMA): 3R MTG: Pad | | | | | | | | | | | | | | | | | | | | | |
| 2000 Amp Frame, Ground Bar, Panel Card. | | | | | | | | | | | | | | | | | | | | | |
| Description of Load Served | Breaker | | Wire | KVA/Phase | | | CKT No. | | KVA/Phase | | | Wire | Breaker | | Description of Load Served | | | | | | |
| | Amp | Pole | | A | B | C | | | A | B | C | | Amp | Pole | | | | | | | |
| EV-1 | 600 | 3 | 500 KCMIL (AL) | 123.90 | | | 1 | 2 | 123.90 | | | 500 KCMIL (AL) | 600 | 3 | EV-2 | | | | | | |
| | | | | | 123.90 | | 3 | 4 | | 123.90 | | | | | | | | | | | |
| EV-3 | 600 | 3 | 500 KCMIL (AL) | 123.90 | | | 5 | 6 | | | | 500 KCMIL (AL) | 600 | 3 | EV-4 | | | | | | |
| | | | | | 123.90 | | 7 | 8 | 123.90 | | 123.90 | | | | | | | | | | |
| EV-5 | 600 | 3 | 500 KCMIL (AL) | | | | 9 | 10 | | | | | | | SPACE | | | | | | |
| | | | | | | | 11 | 12 | | | 123.90 | | | | | | | | | | |
| SPACE | | | | 123.90 | | | 13 | 14 | - | | | - | - | - | LIGHTING | | | | | | |
| | | | | | 123.90 | | 15 | 16 | | - | - | | | | | | | | | | |
| SPACE | - | - | - | | | | 17 | 18 | | | | BY MFR | 15 | 2 | AUX | | | | | | |
| | | | | | | | 19 | 20 | 0.50 | 2.68 | | | | | | | | | | | |
| Notes: | | | | | | | 21 | 22 | | 2.68 | | Total KVA/Phase | | | | | | | | | |
| | | | | | | | 23 | 24 | | | | | | | | | | | | | |
| | | | | Total KVA/Phase | | | 371.70 | 371.70 | 371.70 | | | | | | | 248.30 | 250.48 | 250.48 | | | |
| | | | | 1. Connected KVA: | | | 1864.35 | | | | | | | | | | | | | | |
| | | | | 2. Demand KVA: | | | 1500.00 | | | | | | | | | | | | | | |
| | | | | 3. Demand Amps: | | | 1804.00 | | | | | | | | | | | | | | |

LOAD SUMMARY NOTE:

- ELECTRIC VEHICLE CHARGING LOADS ARE PART OF AUTOMATIC LOAD MANAGEMENT SYSTEM PER NEC 625.42. TOTAL SWITCHBOARD 'SWBD-EV' LOADS SHALL BE LIMITED TO THE DEMAND VALUES SHOWN IN THE LOAD SCHEDULE AND THE TOTAL LOAD SHALL NOT EXCEED 1804A. THIS SETTING SHALL BE DONE PRIOR TO ENERGIZATION BY A QUALIFIED PROFESSIONAL AND SHALL NOT BE MODIFIED AFTER SYSTEM IS ENERGIZED UNLESS COORDINATED WITH UTILITY PROVIDER.

| LOAD CENTER 'AUX' SCHEDULE | | | | | | | | | | | |
|-------------------------------------------------------|---------|------|------------------|------|----------------------|----|-----------|------|-----------------|-----|----------------------------|
| Volts: 120/240V Phase: 1 Wire: 3 Hertz: 60 | | | | | | | | | | | |
| Branch AIC: 22K ENCL. (NEMA): 3R MTG: Unistrut | | | | | | | | | | | |
| 115 Amp Frame, Ground Bar, Locking Cover, Panel Card. | | | | | | | | | | | |
| Description of Load Served | Breaker | | KVA/Phase | | CKT No. | | KVA/Phase | | Breaker | | Description of Load Served |
| | Amp | Pole | A | B | | | A | B | Pole | Amp | |
| EV-1 | 20 | 1 | 1.07 | | 1 | 2 | - | - | - | - | SPACE |
| EV-2 | 20 | 1 | | 1.07 | 3 | 4 | - | - | - | - | SPACE |
| EV-3 | 20 | 1 | 1.07 | | 5 | 6 | - | - | - | - | SPACE |
| EV-4 | 20 | 1 | | 1.07 | 7 | 8 | - | - | - | - | SPACE |
| EV-5 | 20 | 1 | 1.07 | | 9 | 10 | - | - | - | - | SPACE |
| SPACE | 20 | 1 | | - | 11 | 12 | - | - | - | - | SPACE |
| Total KVA/Phase | | | 3.21 | 2.14 | | | 0.00 | 0.00 | Total KVA/Phase | | |
| Notes: | | | 1. Connected KVA | | 5.35 Connected Amps: | | 22.29 | | | | |
| | | | 2. Demand KVA: | | 6.69 Demand Amps: | | 27.86 | | | | |

PANEL SCHEDULES

EVgo

FAST CHARGING

EVGO
1661 E FRANKLIN AVE
EL SEGUNDO, CA 90245

KimleyHorn

3000 TOWN CENTER SUITE 2600,
SOUTHFIELD, MI 48075
Main: (313) 572-1560 | www.kimley-horn.com

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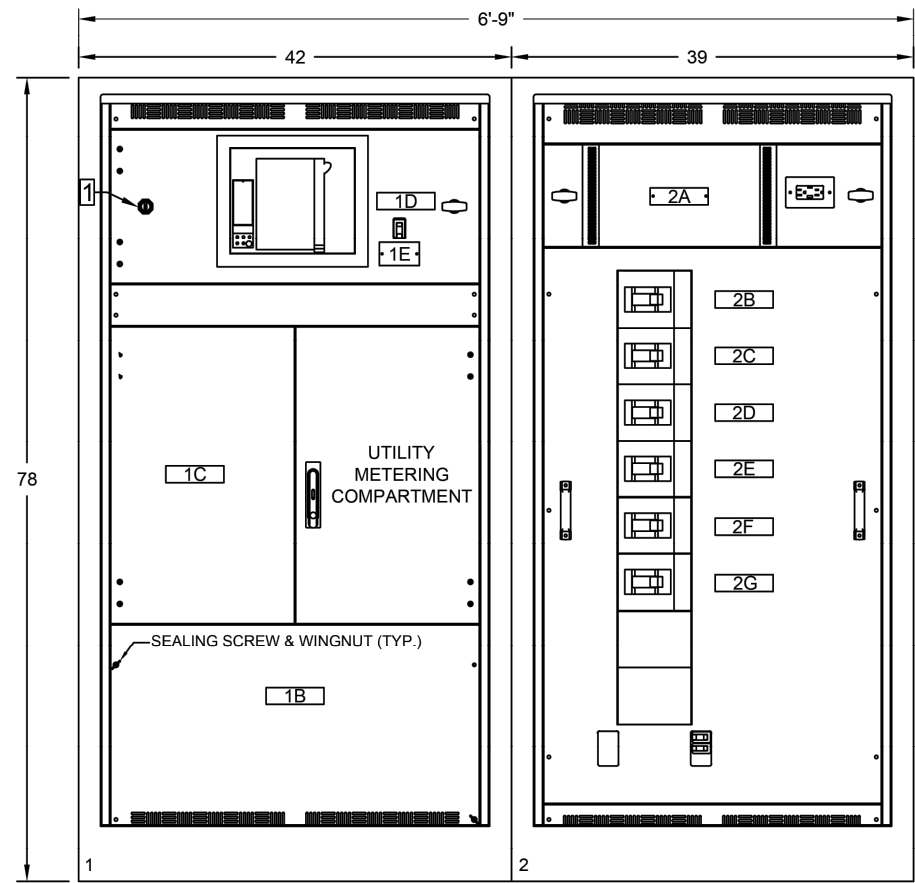
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PLANS
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| DATE | BY | ISSUE BLOCK | | | | | | | | | | |
|-----------------|-----|-------------|-----------------|---|---|---|---|---|---|---|---|---|
| | | | 0 | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 |
| 10/1/25 | ELJ | JCC | | | | | | | | | | |
| 10/14/25 | | | | | | | | | | | | |
| DESIGNED BY: | | | #900 | | | | | | | | | |
| DRAWN BY: | | | #901 | | | | | | | | | |
| CHECKED BY: | | | #902 | | | | | | | | | |
| KHA PROJECT No. | | | 017777049 | | | | | | | | | |
| DOCUMENT DATE: | | | October 1, 2025 | | | | | | | | | |

SHEET TITLE
**SINGLE LINE DIAGRAM &
PANEL SCHEDULES**
SHEET NUMBER
E3.0

THIS DRAWING IS A LINCOLN ELECTRIC PROPRIETARY WORK PRODUCT AND SHOULD NOT BE SHARED WITH ANYONE OTHER THAN THE INTENDED RECEIVER. THE CONTENT OF THE DRAWING IS COVERED UNDER THE IN PLACE MUTUAL NDA.



| | |
|--------------------|--------------------|
| SECTION 1 WEIGHT | SECTION 2 WEIGHT |
| 1300 lbs (APPROX.) | 1300 lbs (APPROX.) |

FRONT VIEW
(SHOWN WITHOUT DOORS)

PRODUCT DESCRIPTION & RATINGS:

- EV-2

UTILITY INFORMATION [DTE]

- METER BEFORE DISCONNECT (HOT SEQUENCE).

POWER SYSTEM DATA

- INCOMING - BOTTOM FEED.
- BUS SYSTEM DATA
- SILVER PLATED COPPER MAIN BUS.
- DENSITY RATED AT 1000A PER SQUARE INCH.
- 98% CONDUCTIVITY RATED IN ACCORDANCE W/ UL891.

ENCLOSURE DATA

- CODE GAUGE, FORMED COVERS AND DOORS
- ENCLOSURE SHALL CONFORM TO INGRESS PROTECTION REQUIREMENTS IN ACCORDANCE WITH TYPE-3R.
- EXTERIOR HARDWARE SHALL BE TAMPER-RESISTANT.
- DOOR HANDLES ARE EQUIPPED WITH PADLOCK HASP.
- FINISH SHALL BE: **WHITE**.
- FRONT ACCESS ONLY.

CODE STANDARDS

- UL891
- CSA-C22.2 No. 244
- SUITABLE ONLY FOR USE AS SERVICE EQUIPMENT.

NAMEPLATES

- PHENOLIC TYPE, WHITE w/BLACK LETTERS.

ACCESSORIES

- ENCLOSURE HEATER W/ HYGROSTAT CONTROL
- SERVICE DISCONNECT PROVIDED WITH GROUND FAULT PROTECTION IN ACCORDANCE WITH NEC 230.95

LEGEND:

- 1 - ERMS (ENERGY REDUCTION MAINTENANCE SWITCH)

REFERENCES:

- FOR NAMEPLATE DESIGNATIONS SEE 'SWITCHBOARD SCHEDULE' SHT-03



CUSTOMER
EVgo SERVICES LLC
1661 E FRANKLIN AVE.
EL SEGUNDO, CA 90245

PROJECT

DRAWING TITLE

EQUIPMENT DESIGNATION

JOB #

DRAWN BY

DATE

SHEET NUMBER

FRONT VIEW

EV-2

-

6/20/2025

1 OF 5

SHORT CIRCUIT RATING

VOLTAGE

AMPERAGE

SYSTEM

BUS MATERIAL

ENCLOSURE

REV

DRAWING NUMBER

65KA. SYM. RMS

480Y/277V AC

2000A

3ø, 4W

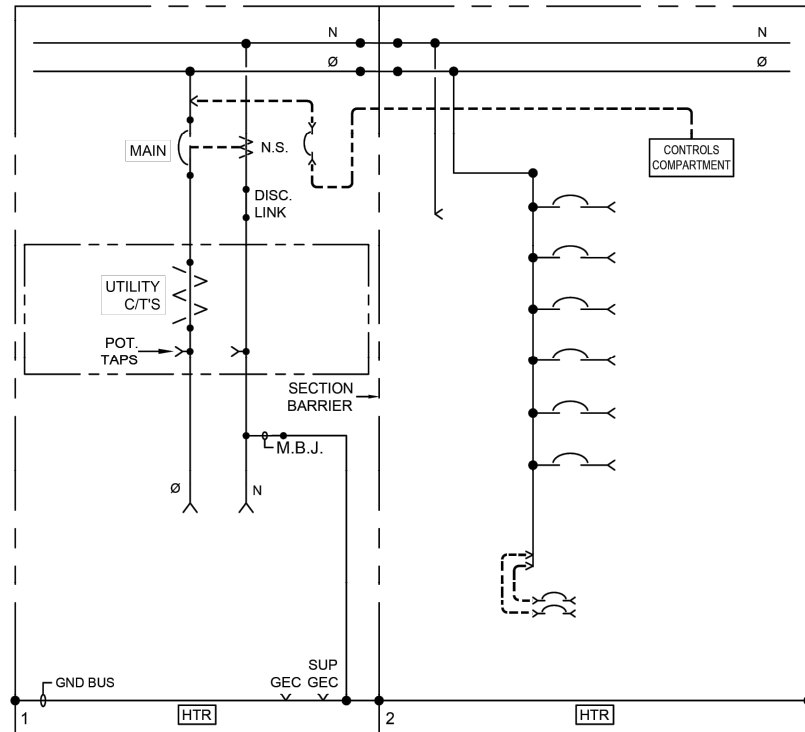
COPPER

TYPE-3R

0

XXXXXS01

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| | |
|----------------|------------------|
| SECTION 1 | SUPPLY: SECTION: |
| MAINS: 2000A | 2000A |
| NEUTRAL: 2000A | 2000A |

| | |
|----------------|------------------|
| SECTION 2 | SUPPLY: SECTION: |
| MAINS: 2000A | 2000A |
| NEUTRAL: 2000A | 2000A |

DRAWING REFERENCES

| TYPE | DRAWING NUMBER | DESCRIPTION |
|-----------------------|----------------|-------------------------------|
| ELECTRICAL SCHEMATICS | EWWDAC-016 | MAIN BREAKER (MTZ w/ ERMS) |
| | EVWDACS-01-22 | CONNECTION TYPE (10 KVA CPT.) |
| | EVWDEG-007 | CONTROLS COMPARTMENT |
| | EVWDEG-PL007 | PAN LAYOUT |
| | EVWDAC-032 | SPARES |
| UTILITY DRAWINGS | EWWDAC-001-01 | STRIP HEATER |
| | LEPCO-XXC-HS | 2000A, DTE C/T COMPARTMENT |

LEGEND:

- [HTR] - STRIP HEATER
- FACTORY WIRED



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EQUIPMENT DESIGNATION

JOB #

DRAWN BY

DATE

SHEET NUMBER

ONE-LINE DIAGRAM

EV-2

-

6/20/2025

2 OF 5

SHORT CIRCUIT RATING

VOLTAGE

AMPERAGE

SYSTEM

BUS MATERIAL

ENCLOSURE

REV

DRAWING NUMBER

65KA. SYM. RMS

480Y/277V AC

2000A

3ø, 4W

COPPER

TYPE-3R

0

XXXXXS01

SWITCHBOARD - GENERAL NOTES

SCALE

N.T.S.

1

SWITCHBOARD - DIMENSIONS

SCALE

N.T.S.

2

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SWITCHBOARD SCHEDULE

| ID | DESIGNATION | DEVICE MANF. | FRAME RATING | TRIP RATING/ TYPE | # OF POLES | DEVICE CAT. NO. | LUG INFORMATION | | | | | | CABLE CONDUCTOR MATERIAL | NOTES |
|----|----------------------------------------------|--------------------|--------------|--------------------|------------|------------------------------------------|-----------------|--------------------|------|-------------------|------|-------------------|--------------------------|-------------------|
| | | | | | | | QTY. | PHASES | QTY. | NEUTRAL | QTY. | GROUND | TYPE | |
| 1 | G.E.C. | - | - | - | - | - | - | - | - | - | 2 | #6-350 KCMIL | MECHANICAL | COPPER |
| | SERVICE SWITCHBOARD 2000A, 3Ø, 4W, 480Y/277V | - | - | - | - | - | - | - | - | - | - | - | - | - |
| | INCOMING | - | - | - | - | - | 6 | (1) #2-600 KCMIL | 6 | (1) #2-600 KCMIL | - | - | MECHANICAL | CU / AL |
| | MAIN SERVICE DISCONNECT | SCHNEIDER ELECTRIC | 2000A | 2000A LSIG w/ ERMS | 3 | EBGKGABABNNNNNNNNNNDNNNNNNNNNNNNNNNNNNNN | - | - | - | - | - | - | - | - |
| | 2000A, DTE C/T COMPARTMENT | - | - | - | - | - | - | - | - | - | - | - | - | - |
| 2 | CONTROLS COMPARTMENT DISCONNECT | SCHNEIDER ELECTRIC | 30A | 30A THERMAL MAG | 2 | HJL36030 | - | - | - | - | - | - | - | - |
| | CONTROLS COMPARTMENT | - | - | - | - | - | - | - | - | - | - | - | - | - |
| | CHARGING CABINET | SCHNEIDER ELECTRIC | 600A | 600A LI | 3 | LJP36600U31XYP | 1 | (2) #2/0-500 KCMIL | - | - | 2 | (1) #6-350 KCMIL | MECHANICAL | ALUMINUM (CU GND) |
| | CHARGING CABINET | SCHNEIDER ELECTRIC | 600A | 600A LI | 3 | LJP36600U31XYP | 1 | (2) #2/0-500 KCMIL | - | - | 2 | (1) #6-350 KCMIL | MECHANICAL | ALUMINUM (CU GND) |
| | CHARGING CABINET | SCHNEIDER ELECTRIC | 600A | 600A LI | 3 | LJP36600U31XYP | 1 | (2) #2/0-500 KCMIL | - | - | 2 | (1) #6-350 KCMIL | MECHANICAL | ALUMINUM (CU GND) |
| 3 | CHARGING CABINET | SCHNEIDER ELECTRIC | 600A | 600A LI | 3 | LJP36600U31XYP | 1 | (2) #2/0-500 KCMIL | - | - | 2 | (1) #6-350 KCMIL | MECHANICAL | ALUMINUM (CU GND) |
| | CHARGING CABINET | SCHNEIDER ELECTRIC | 600A | 600A LI | 3 | LJP36600U31XYP | 1 | (2) #2/0-500 KCMIL | - | - | 2 | (1) #6-350 KCMIL | MECHANICAL | ALUMINUM (CU GND) |
| | CHARGING CABINET | SCHNEIDER ELECTRIC | 600A | 600A LI | 3 | LJP36600U31XYP | 1 | (2) #2/0-500 KCMIL | - | - | 2 | (1) #6-350 KCMIL | MECHANICAL | ALUMINUM (CU GND) |
| | CHARGING CABINET | SCHNEIDER ELECTRIC | 600A | 600A LI | 3 | LJP36600U31XYP | 1 | (2) #2/0-500 KCMIL | - | - | 2 | (1) #6-350 KCMIL | MECHANICAL | ALUMINUM (CU GND) |
| | CHARGING CABINET | SCHNEIDER ELECTRIC | 600A | 600A LI | 3 | LJP36600U31XYP | 1 | (2) #2/0-500 KCMIL | - | - | 2 | (1) #6-350 KCMIL | MECHANICAL | ALUMINUM (CU GND) |
| 4 | SPACE | SCHNEIDER ELECTRIC | 600A | - | 3 | L-FRAME | - | - | - | - | - | - | - | - |
| | SPACE | SCHNEIDER ELECTRIC | 600A | - | 3 | L-FRAME | - | - | - | - | - | - | - | - |
| | ACCESSORY / SPARE (277V.) | SCHNEIDER ELECTRIC | 15A | 15A THERMAL MAG | 1 | BJL16015 | 1 | (1) #14-3/0 KCMIL | 1 | (1) #14-1/0 KCMIL | 1 | (1) #14-1/0 KCMIL | MECHANICAL | COPPER |
| | ACCESSORY / SPARE (277V.) | SCHNEIDER ELECTRIC | 15A | 15A THERMAL MAG | 1 | BJL16015 | 1 | (1) #14-3/0 KCMIL | 1 | (1) #14-1/0 KCMIL | 1 | (1) #14-1/0 KCMIL | MECHANICAL | COPPER |
| | ACCESSORY / SPARE (277V.) | SCHNEIDER ELECTRIC | 15A | 15A THERMAL MAG | 1 | BJL16015 | 1 | (1) #14-3/0 KCMIL | 1 | (1) #14-1/0 KCMIL | 1 | (1) #14-1/0 KCMIL | MECHANICAL | COPPER |



CUSTOMER
EVgo SERVICES LLC
1661 E FRANKLIN AVE.
EL SEGUNDO, CA 90245

PROJECT

DRAWING TITLE

EQUIPMENT DESIGNATION

JOB #

DRAWN BY

DATE

SHEET NUMBER

SCHEDULE

EV-2

-

6/20/2025

3 OF 5

SHORT CIRCUIT RATING

VOLTAGE

AMPERAGE

SYSTEM

BUS MATERIAL

ENCLOSURE

REV

DRAWING NUMBER

65KA. SYM. RMS

480Y/277V AC

2000A

3ø, 4W

COPPER

TYPE-3R

0

XXXXXS01



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DRAWING TITLE

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JOB #

DRAWN BY

DATE

SHEET NUMBER

PLAN VIEW

EV-2

-

6/20/2025

4 OF 5

SHORT CIRCUIT RATING

VOLTAGE

AMPERAGE

SYSTEM

BUS MATERIAL

ENCLOSURE

REV

DRAWING NUMBER

65KA. SYM. RMS

480Y/277V AC

2000A

3ø, 4W

COPPER

TYPE-3R

0

XXXXXS01

SWITCHBOARD - ONE LINE

SCALE

N.T.S.

3

SWITCHBOARD - SCHEDULE

SCALE

N.T.S.

4

EVgo
FAST CHARGING

EVGO
1661 E FRANKLIN AVE
EL SEGUNDO, CA 90245

KimleyHorn

3000 TOWN CENTER SUITE 2600,
SOUTHFIELD, MI 48075
Main: (313) 572-1560 | www.kimley-horn.com

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|-----|-------------|---------|-----|--------------|-----------|-------------|-----------------|-----------------|----------------------------|
| | | | | | | | | | |
| 0 | CD30 | 10/1/25 | ELJ | N/A | N/A | N/A | 017777049 | October 1, 2025 | SWITCHBOARD SPECIFICATIONS |
| 1 | CD30 | 10/1/25 | JCC | | | | | | |
| 2 | | | | | | | | | |
| 3 | | | | | | | | | |
| 4 | | | | | | | | | |
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| 10 | | | | | | | | | |

| Part Number | Delta 350kW Power Cabinet: EIDN-U350KTA01 | Delta 200kW Power Cabinet: EIDN-U200KTA01 |
|-----------------------|------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------|
| Power Input | | |
| Input Rating | 480Vac Three phase (L1,L2,L3, PE) , 60Hz | |
| Input Current | 447A | 255A |
| Input Power | 369kW | 212kW |
| Power Factor | > 0.99 | |
| Current THD | < 5% | |
| SCCR | 65kA | |
| Power Output | | |
| Output Voltage | 150~950Vdc | |
| DC Output Current | Each set of terminal: 540A max, Total 2 sets: 1080A max | |
| Max Power | 350kW | 200kW |
| Efficiency | ≥ 95% @400Vdc, full load; (Peak 95.5%) | |
| Protection | | |
| Protection | Over current, Under voltage, Over voltage, Residual current, Surge protection, Short circuit, Over temperature, Ground fault | |
| Input / Output | Input AC Breaker: 630A-3P / Output DC Relay: 750A x2 | |
| Environmental | | |
| Operating Temperature | -22°F to +122°F (-30°C to +50°C) | |
| Storage Temperature | -40°F to +176°F (-40°C to +80°C) | |
| Humidity | < 95% relative humidity, non-condensing | |
| Altitude | 6,500 ft. (2,000 m) | |
| EMC | FCC Part 15-b Class A | |
| Mechanical | | |
| Ingress Protection | IP55 / NEMA 3R | |
| Enclosure Protection | IK 10 | |
| Cooling | Forced Air | |
| Dimension (W x H x D) | 39.3 x 78.7 x 31.4 inch (1000 x 2000 x 800 mm) | |
| Equipment Weight | 1356 lb (615 kg) | 1184 lb (537 kg) |
| Regulation | | |
| Certification | UL2202, UL2231 | |

| | Dispenser and 350kW Power Cabinet | Dispenser and 200kW Power Cabinet |
|--------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| System Configuration | 1 Cabinet, 1 Dispenser | |
| System Description | 480V input voltage 350kW DC EVSE unit with dynamic power sharing capability between two liquid cooled CCS1 connectors with maximum 540A. | 480V input voltage 200kW DC EVSE unit with dynamic power sharing capability between two liquid cooled CCS1 connectors with maximum 540A. Available for future upgrade to 350kW if site and switchgear is prepared for 350kW. |
| Standby Power | 185W | |
| Certifying Agency | cCSAus certified | |
| Applicable Standards | UL 2202, UL 2231-1, UL 2231-2 | |
| Applicable Standards - more | SAE J1772, IEC 61851-1, IEC 61851-23, IEC 62196-3, IEC 62196-3-1, IEC 61000-6-3 EMC, Class B, FCC Part 15 Class A, SAE J2894-1 JAN 2019, ISO 15118, DIN 70121, DIN 70122, SAE J1772, SAE J2953/P, CCS-1, CharIN compliance (upon availability), EV Cable: UL 2251, UL50E, CSA C22.2 No 182.2 | |



46101 Fremont Boulevard Fremont, CA94538, U.S.A
TEL: +1 510 668 5100
E-mail: evcs@deltaww.com

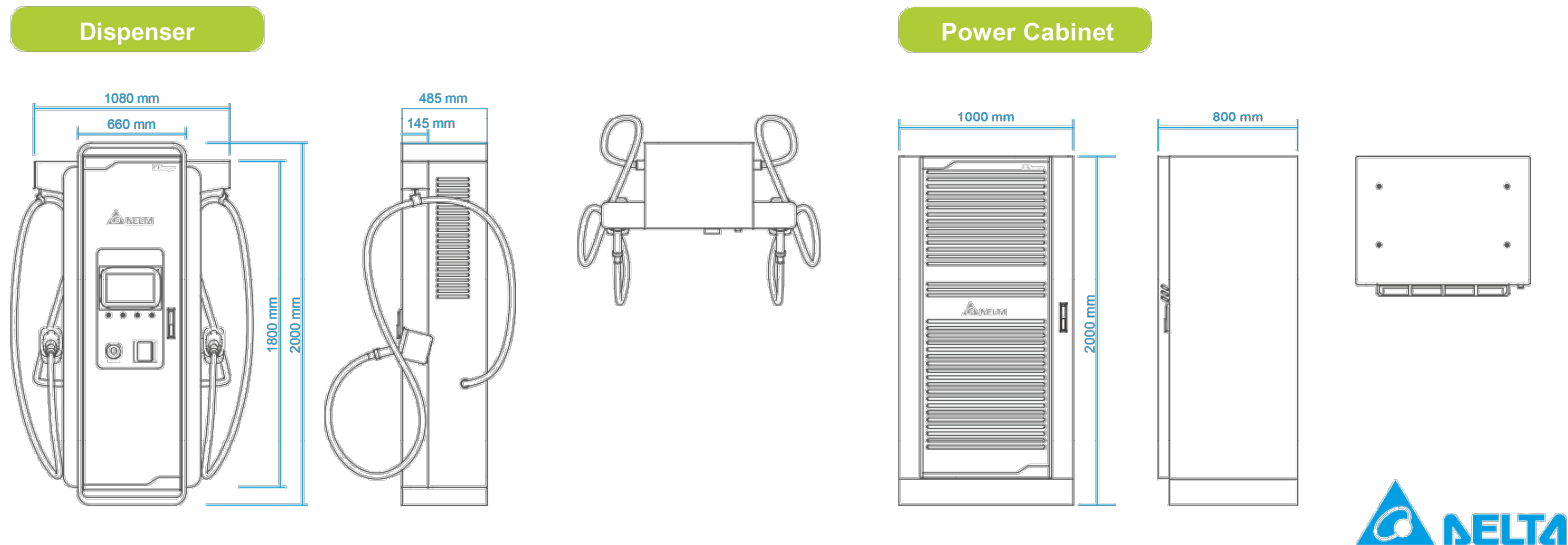
16 Tungyuan Road, Chungli Industrial
Zone, Taoyuan City 32063, Taiwan
TEL: +886 3 4526107



| Part Number | | Delta Dispenser: EIDD-U350SUUAEG | |
|--------------------------|------------------------------------------------------------------------------------------------------------------------------|----------------------------------|--|
| Power Input | | | |
| Input Rating | 120Vac, 1-Phase, 60Hz | | |
| Input current | 8.9A | | |
| Input breaker | 20A breaker | | |
| Power Output | | | |
| Max Voltage rating | 150-950Vdc | | |
| Output Interface | Double CCS1 | | |
| DC Output Current | 540A/200A (400A/400A under development) | | |
| Protection | | | |
| Protection | Over current, Under voltage, Over voltage, Residual current, Surge protection, Short circuit, Over temperature, Ground fault | | |
| User Interface & Control | | | |
| Display | 15 inch LCD Panel | | |
| Support Language | English (Other languages available upon request) | | |
| Push Buttons | Four(4) Buttons for HMI | | |
| User Authentication | ISO/IEC 14443A/B, NFC Payment: Integrated credit card reader | | |
| Charge option | Simultaneous charging with equal power distribution | | |
| Communication | | | |
| Network Interface | Ethernet, Cellular(option) | | |
| Protocol | OCCP v1.6J, upgradeable to OCCP v2.0 | | |
| Environmental | | | |
| Operating Temperature | Operating at -22°F to +122°F (-30°C to +50°C)* | | |
| Storage Temperature | -40°F to +176°F (-40°C to +80°C) | | |
| Humidity | < 95% relative humidity, non-condensing | | |
| Altitude | 6,500 ft. (2,000 m) | | |
| Mechanical | | | |
| Ingress Protection | IP55 / NEMA 3R | | |
| Enclosure Protection | IK10 | | |
| Cooling | Forced air | | |
| Charging Cable Length | 14.76 ft. (4.5m) | | |
| Dimension (W x H x D) | 42.5x 78.7x 19.1inch (1080 x 2000x 485 mm) | | |
| Weight | 706 lb (320 kg) | | |
| Regulation | | | |
| Certification | UL 2202, UL 2231 | | |
| Installation | | | |
| Cable Management | Weight based retractor | | |

Dimension and weight excluding plug and connector. Specifications are subject to change without notice

* Refer to IOM for de-rating





Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

TO: Howell Township Planning Commission

FROM: Paul Montagno, AICP, Principal
Brady Heath, Community Planner

DATE: December 11, 2025

RE: Kensington Valley Outlets Site Plan Amendment

The applicant has submitted a request to amend the previously approved site plan for Kensington Valley Outlets, a 304,000 square foot shopping mall, built in 1996 in the RSC – Regional Service Commercial Zoning District off of I-96 and North Burkhart Road.

The applicant is requesting to redesign 16 standard parking stalls into 10 standard electric vehicle charging stalls of which 2 will be ADA accessible. Additional information on the layout of the parking stalls can be found on Sheet C3.0. This will create a loss of 6 parking spaces from the site. The charging stations will allow for 350 kilowatts of charging. The location of for the proposed parking space conversion is shown in red on the aerial image below:



Benjamin R. Carlisle, *President* John L. Enos, *Vice President*
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Principal* Brent Strong, *Principal*
David Scurto, *Principal* Sally M. Elmiger, *Principal* Craig Strong, *Principal* Douglas J. Lewan, *Principal*
Richard K. Carlisle, *Past President/Senior Principal* R. Donald Wortman, *Past Principal*

There is a 15 feet by 20.2 feet raised area to the northwest of the parking spaces that will contain an equipment pad, utility transformer pad, utility bollards, an equipment clearance area, landscaping, and concrete curb that will be of standard height. Additional details on the components can be found on Sheet C5.0, C5.1, C5.2, and C5.3. There is no landscape plan, but the applicant indicates that landscaping will be installed on Sheet C3.0. Landscaping shall follow the equipment screening standards in Section 28.02.D.2.

The applicant is also proposing to add 2 light poles within the parking stalls. Additional details can be found on Sheet C5.2 and C5.3. The light poles are proposed to be operational 24/7 with motion detecting sensors. The proposed light fixtures have flat recessed lighting elements and are downward directed. There are no concerns with the lighting being proposed.

Changes and relocation of parking areas are considered to be a major change for an amended site plan according to Section 20.10. The Planning Commission shall review the amendment to the site plan and determine if it will have an impact on the amount of parking at Kensington Valley Outlets. We believe that the loss of 6 spaces is negligible based on the historic parking needs of the mall.

Review Notes:


- The proposed modification will create a loss of 6 parking spaces.
- 2 of the 10 electric charging vehicle stations will be ADA accessible.
- The landscaping shall meet the equipment screening standards of Section 28.02.D.2.
- There are no concerns with the light poles.

We recommend the Planning Commission consider the following prior to making a determination.

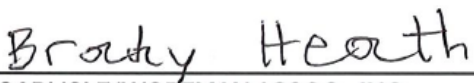
1. Safety and Placement – Are the parking spaces properly located to where pedestrians can get to the stores easily and safely.
2. Screening of Equipment – How will the equipment be screened from the public view.

From a zoning compliance perspective, the amendment will not have a major impact on the amount of parking spaces, however the size of the parking spaces and the landscaping shall meet the standards of the Zoning Ordinance.

We look forward to discussing this at your upcoming Planning Commission meeting.



CARLISLE/WORTMAN ASSOC., INC.
Paul Montagno, AICP
Principal



CARLISLE/WORTMAN ASSOC., INC.
Brady Heath
Community Planner



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

To: Howell Township Planning Commission and Data Center Subcommittee

From: Paul Montagno, AICP, and Brady Heath, Township Planner

Date: December 11, 2025

Re: Data Centers

It is our understanding that the Township Board established a committee to investigate issues surrounding data centers. As you know, per the Zoning Enabling Act, the Planning Commission is charged with holding a public hearing for updates to the zoning ordinance and making recommendations to the Township Board, who has the final authority to adopt zoning ordinance amendments. In the past there have been committees that work on ordinance updates with direction from the Planning Commission. Usually there is draft language that we provide to the committee as a starting point. Our office has been developing sample ordinance language that could be used as a template for a potential data center ordinance. In addition, the township attorney's office has provided sample language. And finally, Cohoctah Township has adopted a data center ordinance. We recommend that you review and consider the various elements in each of these ordinances and discuss what you want to include in your ordinance. We offer the following as a starting point for your consideration:

Draft zoning ordinance language:

Section X: Data Centers

A. Purpose and Intent

The purpose of this ordinance is to establish a clear and thoughtful regulatory framework for data centers. These regulations are intended to guide the placement and design of data centers to balance local economic growth with the protection of community interests and resources.

This is achieved by:

- 1) Directing data centers to areas with appropriate infrastructure and minimal impact on surrounding properties.
- 2) Minimizing adverse effects on residents and adjacent communities, including managing noise from mechanical equipment and generators.
- 3) Ensuring the efficient use of public utilities, such as water and electricity.
- 4) Promoting a high standard of architectural design and effective visual screening to ensure compatibility with the surrounding context
- 5) Establishing clear expectations for developers to encourage efficient and well-designed development. Establish reasonable standards for the siting, design, and operation of data centers.
- 6) Ensure compatibility with adjacent land uses and the Township's Master Plan.

B. Applicability

Section 11.50 applies to Data Center Uses. Applicants must submit materials at the time of submission of a Site Plan that include any information necessary to evaluate conformance with all requirements in this ordinance. Conditional and Site Plan approval is contingent upon the applicant demonstrating conformance to the requirements of this ordinance and other standards of the Zoning Ordinance.

C. Data Center Definition.

- 1) Data Center: A facility primarily used to house computer systems and associated components, including servers, telecommunications, storage systems, backup power supplies, redundant data communications connections, and environmental controls.
- 2) Large-Scale Data Center: A data center facility exceeding 25,000 square feet of gross floor area or a site exceeding 10 acres.
- 3) Small-Scale Data Center: A facility less than 25,000 square feet, often serving local or regional networks.
- 4) Accessory Data Centers: Accessory use to hospitals, universities, or large institutions, provided floor area is under 10,000 square feet.

D. Districts Permitted

- 1) Large Scale Data Centers
 - a. Conditional Use in the I, Industrial Zoning District
 - b. Prohibited in all other zoning districts.
- 2) Small Scale Data Centers
 - a. Conditional Use in the I, Industrial Zoning District and BD, Business District
 - b. Prohibited in all other zoning districts.
- 3) Accessory Data Centers are permitted as an accessory use to an approved permitted use in the I, Industrial, BD, Business District, C-2, Regional Commercial Corridor, and PF, Public Facility District.

E. Use Standards

- 1) Lot and Building Requirements
 - a. Minimum Lot Area
 1. Large-scale: 10 acres
 2. Small-scale: 2 acres
 - b. Maximum Building Height: 45 feet, 3 stories
 - c. Maximum Lot Coverage: 60%.
 - d. Setbacks:
 1. Large-scale: minimum of 200 feet from all property lines
 2. Small-scale and accessory: minimum of 50 feet from all property lines
- 2) Screening and Landscaping
 - a. Mechanical equipment (including HVAC, generators, transformers, and cooling towers) shall be fully screened by masonry walls, architectural panels, or evergreen landscaping.

- b. A minimum 25-foot greenbelt shall be provided along all property lines.
- 3) Noise and Vibration
 - a. Backup generators and cooling equipment shall not exceed 65 dBA at the property line, except during emergency operation.
 - b. Routine generator testing shall occur only between 8:00 a.m. and 6:00 p.m. on weekdays.

F. Building Massing, Façade Requirements, and Material Requirements

- 1) Massing and Scale
 - a. Building massing, height, bulk, scale, and proportion shall maintain consistency with the existing character of the adjacent buildings.
 - b. Building design should employ coordinated massing to produce overall unity, scale, and interest.
 - c. Rooflines and pitches shall be proportionate to nearby structures so as to provide transition or mitigation of significant changes to scale.
- 2) Architectural design and building materials.
 - a. Facade variation. Wall designs must provide a minimum of three of the following elements, in addition to transparency requirements, occurring at intervals no greater than 25 feet horizontally and 10 feet vertically:
 - 1. Expression of structural system and infill panels through change in plane not less than three inches.
 - 2. System of horizontal and vertical scaling elements, such as: belt course, string courses, cornice, pilasters.
 - 3. System of horizontal and vertical reveals not less than one inch in width/depth.
 - 4. Variations in material module, pattern, and/or color.
 - 5. System of integrated architectural ornamentation.
 - 6. Green screen or planter walls.
 - 7. Translucent, fritted, patterned, or colored glazing.
 - 8. Transparency as required in Section 40-11.50(F)(2)(b).
 - b. Transparency.
 - 1. To ensure façade variation, the use of windows and doors is required. The first floor of any front facade facing a right-of-way shall be no less than 20% clear windows and doors, and the minimum transparency for facades facing a side yard, or parking area shall be no less than 15% of the facade. Ground-story transparency is measured between two and eight feet above the ground story elevation. The transparency requirement shall be measured and applied to each separate unit, address or space. Visibility through the required transparency must portray the principal use of the operation and shall not portray secondary or back of house operation areas, including, but not limited to, laundry, cleaning supply, stock, or storage areas.
 - 2. Windows for building sides shall be concentrated toward the front edge of the building, in locations most visible from an urban open space or public right-of-way.
 - 3. Transparency alternatives. The following alternatives may be used singularly or in combination for any side or rear facing facade which requires transparency. If used

in combination, they may count toward no more than 50% of the transparency requirement set forth in § 40-11.50(F)(2)(b).

- c. Architectural style shall not be restricted. Rather, evaluation of the appearance of a project shall be based upon compatibility and the quality of its design and relationship to surroundings.
- d. Buildings within the same development should be designed to provide a unified and easily identifiable image. Methods to achieve this include using similar architectural styles and materials, complementary roof forms, signs, and colors.
- e. Minimize monotony of expansive exterior walls by incorporating the following elements: staggering of vertical walls; recessing openings; providing upper-level roof overhangs; using deep score lines at construction joints; contrasting compatible building materials; use of variety and rhythm of window and door openings; use of horizontal and vertical architectural elements, use of horizontal bands of compatible colors; and providing changes in roof shape or roofline.
- f. Facades shall provide visual interest from both vehicular and pedestrian viewpoints.
- g. Entrances to individual buildings shall be readily identifiable to visitors through the use of recesses or pop-outs, roof elements, columns, or other architectural elements.

3) Material standards.

- a. Durable building materials, simple configurations, and solid craftsmanship are required. At least 75% of walls visible from public streets, exclusive of wall areas devoted to meeting transparency requirements, shall be constructed of brick, glass, metal (beams, lintels, trim elements, and ornamentation only), wood lap, stucco, split-faced block, or stone. Vinyl or aluminum siding shall only be used for accents. Exterior Insulation Finishing Systems (E.I.F.S.) or similar material is not permitted as a primary building material.
- b. Materials shall be selected for suitability to the type of buildings and the architectural design in which they are used.
- c. Material selection shall be consistent with architectural style in terms of color, shades, and texture; however, monotony shall be avoided.
- d. Materials shall be consistent with adjoining buildings.
- e. Buildings shall have the same materials, or those that are architecturally compatible, for construction of all building walls and other exterior building components wholly or partly visible from public ways and public parking lots.
- f. In any design in which the structural frame is exposed to view, the structural materials shall be compatible within themselves and harmonious with their surroundings.
- g. Transitional features.
 - 1. Transitional features are architectural elements, site features, or alterations to building massing that are used to provide a transition between higher-intensity uses and low- or moderate-density residential areas. These features assist in mitigating potential conflicts between those uses. Transitional features are intended to be used in combination with landscape buffers or large setbacks.
 - 2. Intensity. A continuum of use intensity, where moderate-intensity uses are sited between high-intensity uses and low-intensity uses, shall be developed for multibuilding developments. An example would be an office use between commercial and residential uses.
 - 3. Height and mass. Building height and mass in the form of building step-backs, recess lines or other techniques shall be graduated so that structures with higher-

intensity uses are comparable in scale with adjacent structures of lower-intensity uses.

4. Architectural features. Similarly sized and patterned architectural features, such as windows, doors, arcades, pilasters, cornices, wall offsets, building materials, and other building articulations included on the lower-intensity use shall be incorporated in the transitional features.

G. Sustainability & Energy Use Requirements

- 1) Infrastructure Impact Statement. Applicants shall submit an Infrastructure Impact Statement at the time of Site Plan review, which must identify:
 - a. Utility Capacity Impact Statement from DTE/ITC confirming service adequacy.
 - b. Anticipated electric power demand (MW).
 - c. Anticipated water usage for cooling and other operations (gallons per day).
 - d. Waste heat recovery, reuse, or discharge methods.
 - e. Planned on-site backup generation capacity (MW) and associated fuel type(s).
- 2) Energy Efficiency.
 - a. Data Centers must be designed to achieve a Power Usage Effectiveness (PUE) of 1.3 or lower, or provide documentation demonstrating the highest level of efficiency reasonably achievable based on site-specific constraints.
 - b. Facilities shall incorporate best practices for energy conservation, including but not limited to: high-efficiency HVAC systems, waste heat reuse, variable-speed drives, and hot/cold aisle containment.
 - c. Applicant shall provide an operations Report detailing anticipated power demand and redundancy systems.
 - d. Applicant shall provide a heat recovery or reuse feasibility analysis (waste heat for district energy)
- 3) Renewable Energy Integration.
 - a. Applicants are encouraged to incorporate on-site renewable energy generation (e.g., solar, wind, geothermal) or to procure renewable energy from off-site sources.
 - b. At least 25% of projected annual energy demand shall be demonstrated to be met through renewable energy sources, whether on-site or through power purchase agreements, renewable energy credits, or utility green-power programs.
- 4) Water Conservation.
 - a. Cooling systems shall be designed to minimize potable water use, with preference for air-cooled, hybrid, or closed-loop water systems.
 - b. Facilities using water-based cooling must demonstrate the use of recycled, reclaimed, or non-potable water sources to the maximum extent feasible.
- 5) Green Building Practices.
 - a. New Data Center structures shall be designed to achieve LEED Silver certification or an equivalent third-party sustainability certification, or provide documentation of equivalent performance standards.
 - b. The Zoning Administrator may approve alternative documentation demonstrating substantially similar environmental performance.
- 6) Air quality
 - a. Regulatory Compliance: All generators, cooling systems, and other emission sources shall comply with federal Clean Air Act requirements and the Michigan Department of Environment, Great Lakes, and Energy (EGLE) air quality rules.

- b. Permitting: Facilities shall obtain and maintain any required Air Use Permit to Install (PTI) or other approvals from EGLE for stationary engines, cooling towers, or fuel storage.
 - c. Generator Emissions:
 - 1. Generators shall meet or exceed current EPA Tier 4 Final emissions standards.
 - 2. Dispersion modeling may be required if a facility is within 500 feet of a residential district, school, park, or hospital.
 - d. Testing Hours: Routine testing of backup generators shall be limited to 8:00 a.m.–6:00 p.m. weekdays.
 - e. Cooling Towers: Cooling towers shall include drift eliminators and be managed to prevent particulate emissions or microbial contamination.
 - f. Emissions Reporting: Applicants shall submit an annual statement to the Township confirming compliance with EGLE permits and reporting actual operating/testing hours of backup generators.
 - 7) Ongoing Reporting.
 - a. Owners and operators shall provide an annual sustainability report to the Township, including:
 - 1. Actual annual energy consumption (MWh).
 - 2. Actual annual water usage (gallons).
 - 3. Progress toward renewable energy targets
 - 4. Documentation of any energy efficiency, cooling system upgrades, and security upgrades.
 - 8) Use of Consultants. The Township may hire consultants to review energy efficiency, water consumption usage, air quality review, renewable energy implementation, and green building practices.
- H. **Security & Emergency Access.** Security and Emergency Access. Data Centers shall be designed and operated to protect the facility, surrounding community, and public safety resources.
- 1) Perimeter Security.
 - a. Data Centers shall be fully enclosed with a perimeter security system, which may include fencing, walls, or equivalent barriers not less than eight (8) feet in height.
 - b. Security barriers shall be designed to balance safety with community character; opaque fencing must be screened with landscaping where visible from public roads or residential areas.
 - 2) Controlled Access.
 - a. All site entrances shall include controlled access gates, guard stations, or equivalent security technology to prevent unauthorized entry.
 - b. Visitor and delivery access points must be separated from employee access points wherever feasible.
 - 3) Emergency Access.
 - a. A minimum of two (2) points of emergency vehicle access shall be provided, with clear signage and unobstructed pathways around the building.
 - b. Access drives shall be constructed to fire department standards, with sufficient load-bearing capacity for emergency apparatus.
 - c. Fire lanes shall be maintained free of obstructions at all times.
 - 4) Camera Surveillance

- a. Data Centers shall install and maintain a perimeter camera surveillance system capable of monitoring all vehicular and pedestrian access points, building entrances, and outdoor mechanical/equipment areas.
 - b. Cameras shall be positioned to minimize intrusion into adjoining residential properties and public rights-of-way, while still providing full coverage of the site.
 - c. Camera systems shall be continuously operational (24 hours per day, 7 days per week) and recordings shall be retained for a minimum of 30 days.
 - d. A security plan, including camera layout, monitoring procedures, and data retention policies, shall be submitted as part of site plan review.
- 5) Fire Protection and Suppression.
 - a. Data Centers shall be equipped with an automatic fire detection and suppression system designed to protect both building occupants and sensitive equipment.
 - b. Suppression systems shall comply with National Fire Protection Association (NFPA) standards and be approved by the Fire Marshal.
- 6) Hazardous Materials Management.
 - a. Any use of hazardous materials (including fuels for backup generators, batteries, and chemicals for cooling systems) shall comply with federal, state, and local storage, reporting, and disposal requirements.
 - b. Applicants shall provide a Hazardous Materials Management Plan identifying on-site materials, storage methods, spill prevention measures, and emergency response procedures.
 - c. Applicant shall provide a fire protection plan.
- 7) Emergency Response Coordination.
 - a. Applicants shall submit an Emergency Response Plan to the Township at the time of Site Plan review, which must include:
 - 1. Site layout for emergency responders.
 - 2. Fire suppression and alarm systems description.
 - 3. Backup generator location and fuel storage details.
 - 4. Contact information for on-site security and facility management.
 - b. Operators shall provide annual training opportunities or site orientations to local fire, police, and emergency medical services.
- 8) Lighting and Surveillance.
 - a. Security lighting shall comply with Section (Lighting) and shall be directed downward and shielded to minimize glare and off-site impacts.
 - b. Facilities shall incorporate continuous video surveillance of access points, perimeter fencing, and loading areas, with recordings maintained for a minimum of thirty (30) days.

I. Decommissioning

- 1) Decommissioning Plan Requirement. As a condition of site plan and special use approval, the applicant shall submit a Decommissioning and Site Restoration Plan that addresses
 - a. Triggers for decommissioning.
 - b. Methods for removal of structures, equipment, utilities, and impervious surfaces.
 - c. Recycling and disposal of equipment and hazardous materials.
 - d. Final grading, soil stabilization, and revegetation.
 - e. Restoration of the site to a condition compatible with surrounding uses.
- 2) Triggers for Decommissioning

- a. A data center shall be considered abandoned if it ceases operations for a period of 12 consecutive months, unless the owner provides evidence of intent to resume operations.
 - b. Decommissioning must begin within 6 months of abandonment and be completed within 12 months.
- 3) Performance Guarantee / Financial Assurance
 - a. Prior to issuance of a building permit, the applicant shall post a financial guarantee in the form of a letter of credit, bond, or escrow account acceptable to the Township.
 - b. The amount shall equal 125% of the estimated decommissioning cost, as determined by a qualified engineer and approved by the Township.
 - c. Estimates must be updated every 5 years and adjusted for inflation.
- 4) Removal Standards
 - a. All above-ground structures, including buildings, mechanical equipment, cooling towers, security fencing, and pavement not otherwise serving a reuse, shall be removed.
 - b. Below-ground infrastructure, such as foundations and utilities, shall be removed to a minimum depth of 36 inches below grade unless otherwise approved.
 - c. Materials shall be recycled to the maximum extent practicable.
- 5) Site Restoration
 - a. The site shall be restored with topsoil, seeded or planted with native vegetation, and stabilized to prevent erosion.
 - b. The Township may approve alternate restoration plans if the site is proposed for redevelopment consistent with the Master Plan and zoning ordinance.
- 6) Failure to Decommission
 - a. If the owner fails to complete decommissioning in accordance with the approved plan, the Township may draw upon the financial guarantee to complete the work.
 - b. Any costs exceeding the financial guarantee shall remain the responsibility of the property owner.

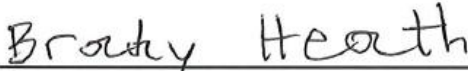
J. Reporting

- 1) Annual reporting
 - a. Generator runtime logs
 - b. Water withdrawal and discharge data
 - c. Energy efficiency performance
 - d. Greenhouse gas (GHG) emissions or carbon intensity of energy consumed report.

We look forward to meeting you to discuss further.

Sincerely,


CARLISLE/WORTMAN ASSOC., INC.
Paul Montagno, AICP
Principal


CARLISLE/WORTMAN ASSOC., INC.
Brady Heath
Community Planner

*****DRAFT*****

HOWELL TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN
DATA CENTER FACILITY
ZONING ORDINANCE AMENDMENT
ORDINANCE NO. _____

At a meeting of the Township Board of Howell Township, Livingston County, Michigan, held at the Howell Township Hall on _____, 2025, at _____ p.m., Township Board Member _____ moved to adopt the following Ordinance, which motion was seconded by Township Board Member _____.

An Ordinance to amend the Howell Township Zoning Ordinance, as amended, to regulate Data Centers.

HOWELL TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN ORDAINS:

SECTION 1. AMENDMENT TO ARTICLE XVI: The Howell Township Zoning Ordinance, Article XVI shall be amended to add Section 16.23 to state as follows:

SECTION 16.23. DATA CENTERS

1. Intent & Purpose.

The purpose of this Section is to promote the effective and efficient use of Data Centers. It is the intent of the Township to permit these systems by regulating their siting, design, and installation to protect the public health, safety, and welfare, and to ensure their compatibility with adjacent land uses. Data Centers, as defined in this Ordinance, shall comply with the provisions of this Ordinance and are only permitted as authorized by this section.

2. Permitting.

- A. Data Centers shall be authorized as special uses in the Research and Technology (“RT”) District subject to the standards in this Section.
- B. Data Centers are subject to the general requirements for special use permitting and approval under Article XVI of this Zoning Ordinance in addition to the regulations in this Section. To the extent there is any conflict between the general requirements under Article XVI and this section, this section shall control.

3. Additional Application Requirements for Data Centers.

- A. All applications for Data Centers must be accompanied by detailed site plans, drawn to scale and dimensioned and certified by a registered engineer licensed in the State of Michigan, displaying the following information complying with the information set forth below and as set forth in Article XX, in addition to the information required for special use permits under Article XVI of the Zoning Ordinance.

- 1. Site Plan. A site plan, as required under Article XX of the Zoning Ordinance.

2. Contact Information. The complete name, address, and telephone number of the applicant.
3. Description. A description of the Data Center, including:
 - a. The location and a description of the Data Center.
 - b. A description of the anticipated effects of the Data Center on the natural environment, natural resources, and solid waste disposal capacity, which may include records of consultation with relevant state, tribal, and federal agencies.
 - c. A description of the expected use of the Data Center.
 - d. Anticipated or future use of augmentation for a project. Should an applicant intend to repurpose or augment a project site, applicants must provide a narrative indicating the anticipated project life of the project with repurposing or augmentation and detail plans and schedules for repurposing or augmentation activities.
 - e. Additional information required by the Township as it relates to the site plan.
4. Public Benefits. Expected public benefits of the proposed Data Center.
5. Environmental Impacts. The expected direct impacts of the Data Center on the environment and natural resources and how the applicant intends to address and mitigate these impacts. This includes any impacts to water quality, water supply, or potential groundwater contamination and methods to avoid such impacts to water sources.
6. Public Health and Safety. Information on the effects of the Data Center on public health and safety.
7. Agency Consultation. Evidence of consultation, if required, before submission of the application, with the Department of Environment, Great Lakes, and Energy and other relevant state and federal agencies before submitting the application, including, but not limited to, the Department of Natural Resources and the Department of Agriculture and Rural Development.
8. Interference. If the Data Center is reasonably expected to have an impact on television signals, microwave signals, global position systems, military defense radar, radio reception, or weather and doppler radio, a plan to minimize and mitigate that impact.
9. Stormwater. A stormwater assessment and a plan that will require approval by the Livingston County Drain Commissioner to minimize, mitigate, and repair any drainage impacts at the expense of the applicant. All stormwater assessment and plans must include content on how an applicant will take measures to either not disturb and maintain existing private drainage infrastructure including drain tile or will upon decommissioning repair such private drainage infrastructure to allow lands to continue to be suitable for agricultural and rural residential use, if applicable. Stormwater plans shall reasonably attempt to use less

invasive means and methods of stormwater control to provide for future land use upon decommissioning (e.g., minimal creation of detention basins).

10. *Emergency and Fire Response.* An emergency response plan addressing how emergency services providers (EMS, fire, and law enforcement) can respond to emergencies that could occur on a facility. Applicants shall demonstrate how their emergency response plan is consistent with industry practices and standards for similar facilities including compliance with NFPA 855: “Standard for the Installation of Stationary Energy Storage Systems” or successor standard. The emergency response plan shall also be provided by the applicant to Township emergency medical services, fire protection, and law enforcement providers for an opportunity to comment, and comments from the providers above must be submitted to the Township for review. The emergency response plan shall include a containment plan addressing surrounding areas, which shall detail all non-permeable liners utilized for battery storage components or address why liners are not needed and containment can be accomplished using other methods. Should an emergency response plan identify any necessary resources or training not possessed by a Township emergency services provider, the applicant must identify how it will provide such resources or training to the applicable provider. The emergency response plan must include an obligation for an applicant and owner and operator to provide an emergency hotline phone number (staffed 24 hours a day; 7 days a week) that is accessible by the Township including its fire department. Moreover, the applicant as part of its emergency services plan must provide the Township with a text-alert or other emergency alert system that residents can subscribe to in order to be made aware of any emergencies occurring at the project. Furthermore, this emergency response plan requires providing material safety data sheets for project components to the Township to be provided to its fire department and require construction of an access road (maintained year round) to the project that is accessible by fire department apparatus.
11. *Decommissioning Plan.* A decommissioning plan drafted by a professional engineer that is consistent with the requirements of this Ordinance. The decommissioning plan shall include, but is not limited to, financial assurance in the form of a bond, a parent company guarantee, or an irrevocable letter of credit, but excluding cash. The amount of the financial assurance shall not be less than the estimated cost of decommissioning the Data Center, without deducting salvage value, as calculated by a third party with expertise in decommissioning, hired by the applicant. Moreover, an applicant for a Data Center, prior to construction, must enter into a decommissioning agreement acceptable to the Township Board before issuance of required permits for construction

specifying the obligations of decommissioning and includes terms noting: (1) decommissioning obligations must be assigned to any future owner or operator of the Data Center; (2) the Township will have land rights to perform decommissioning itself with a posted financial assurance should it need to decommission a project; (3) the anticipated life of the project before decommissioning; (4) how the Township will receive land access rights to decommission the project should it be required to decommission the project; (5) an acknowledgement from the applicant or project owner that the estimate of project decommissioning costs will be updated and reviewed at a minimum of every three (3) years by a mechanism acceptable to the Township, including but not limited to, an inflationary index or review of decommissioning costs by a professional engineer or other qualified professional and that the financial assurance required for decommissioning to be posted with the Township will be updated at a minimum of every three (3) years to match the new estimate of project decommissioning costs; unless the estimate of decommissioning costs goes down in which case the financial assurance will remain at the same value.

12. Construction Schedule / Lifespan. An anticipated construction commencement date and anticipated completion date for project construction. An estimate of the total operating lifespan of the project before decommissioning in years.
13. Application Escrow. An escrow account shall be funded by an applicant when an applicant applies for a special use permit for a Data Center. The monetary amount placed by the applicant in escrow with the Township shall be estimated by the Township to cover all reasonable costs and expenses associated with the zoning review and approval process (including site plan review), which costs include, but are not limited to, reasonable fees of a Township attorney, planner, and/or engineer, as well as costs for any other outside consultants or reports or studies that the Township determines are reasonably related to the zoning review process for a particular application. Such escrow amount shall be in addition to any non-refundable application fees determined by the Township. At any point during the zoning review process, the Township may require that the applicant place additional monies in escrow with the Township should the existing escrow amount filed by the applicant be insufficient. If the escrow account needs replenishing and the applicant refuses to do so within 45 days, the zoning review and approval process shall cease until and unless the applicant makes the required escrow deposit. Such application escrow shall be held by the Township Treasurer in a separate bank account, and upon completion of Township zoning review, all excess escrow funds must be returned to an applicant without interest.

14. Sound. A report of the predicted sound impact and noise compliance of the proposed Data Center shall be included with the application, specifically taking into consideration the sound emission levels set forth in this ordinance, as specified in the Zoning Ordinance for a Data Center. The report shall demonstrate that the predicted sound level limits are met at the lot or parcel line of the Data Center and any habitable structures within 1/4 mile receive no noise in excess of the maximum permissible noise standards provided within this Ordinance, and the report conforms with ANSI/ISO standards for outdoor measurements and predictions. The report shall be produced by a qualified acoustic consultant.
15. Public Water Required. Connection to municipal public water is required unless waived due to satisfaction by the Township that the design will not cause an unreasonable burden on available potable water. Any water cooling must use a closed loop or recycled water system. Cooling water flushing and refills are limited to amounts as approved by Howell Township, or MHOG.
- a. Water Feasibility Study. The applicant shall provide a water feasibility study. The purpose of the study is to determine if there is an adequate supply of water for the proposed Data Center and to estimate the impact of the Data Center on existing wells, groundwater, and surface waters in the vicinity. No Data Center shall be approved unless the water feasibility study demonstrates that the anticipated water supply yield is adequate for the project and that the proposed water withdrawals and discharges will not endanger or adversely affect the quantity or quality of groundwater supplies or surface waters in the vicinity. The water feasibility study shall include the following information at a minimum:
- a. The projected water demands of the Data Center;
 - b. The source of water to be used;
 - c. A description of how water will be used, including the amount or proportion of water to be used for each purpose (e.g. cooling, humidity control, fire suppression, and domestic usage);
 - d. A description of the amount or portion of water withdrawn that will be recycled or discharged and by what means;
 - e. The location of all existing wells within 1,000 feet of the property boundary, with a notation of the capacity of all high-yield wells;
 - f. A determination of the effects of the proposed water supply system on the quantity and quality of water in nearby wells, surface waters, and the groundwater table;
 - g. A statement of the qualifications and the signature(s) of the person(s) preparing the study.

16. Adequate Electrical Capacity. Prior to approval, the Data Center shall have adequate electrical capacity from an applicable service provider. Such capacity shall satisfy the following:
- a. Adequate capacity is available on the applicable supply lines and substation to ensure that the capacity available to serve the other needs of the service area is consistent with the normal projected load growth envisioned by the provider so as to cause no negative interference with the service currently received by electric customers within the Township, and
 - b. Utility supply equipment and related electrical infrastructure are sufficiently sized and can safely accommodate the Data Center.
 - c. The Data Center will not cause electrical interference or fluctuations in line voltage on and off the operating premises, and
 - d. Prior to approval of the certification of completion, the applicant shall provide the Township with written verification that the electrical work has passed a third-party final inspection.
17. Material Safety Data Sheets and Manufacturer's Manuals. Upon submission of an application, an applicant must provide all material safety data sheets and manufacturer's instructions/manuals for substantive project components (e.g., batteries) for Township review and inspection. Should any of the above information be considered confidential or a trade secret, the applicant shall indicate a process to allow inspection of such materials upon request by the Township while at the same time protecting disclosure of the documents to the extent permitted by the Michigan Freedom of Information Act.
18. Community Impacts Analysis. A study that identifies the impacts of a proposed project on community resources and services, including, but not limited to, roads, fire protection (including any necessary training or equipment), police protection, emergency medical services, and public drainage systems including culverts. Applicants shall demonstrate in an application for a Data Center, how they will ensure impacts from a proposed project on community resources and services will be addressed by the applicant and not be borne on the Township.
19. Waste. Applicants shall identify any solid or hazardous waste by a project and how such waste will be managed.
20. Transportation. Applicants shall provide a transportation plan for project construction, operation, and decommissioning. Such plan shall identify project ingress and egress, be approved by the Livingston County Road Commission, and ensure that any damage caused to Township roadways from the project is repaired.
21. Signage. Applicants shall identify all project signage and ensure signage meets the requirements of the Zoning Ordinance. Furthermore, Data Centers shall post signs in compliance with NFPA 70/70E or any

applicable successor code in place at the time of application for approval. Additionally, signage shall be provided per NFPA 855.7.4.4, or any applicable successor code in place at the time of application for approval, including information on the system type and technology, conditional hazards, fire suppression system and 24-hour emergency contact information, including reach-back phone number. A clearly visible warning sign concerning voltage shall be placed at the base of all pad-mounted transformers and substations.

22. Other information reasonably required by the Township.

4. Data Center Standards and Obligations. Data Centers shall meet the following performance standards and obligations.

A. Setbacks. Data Centers shall be subject to the following setback requirements. No setbacks shall apply between participating properties hosting the same project. Data Center buildings, mechanical equipment, supporting BESS, and all other associated equipment must be set back as follows:

1. All principal buildings, accessory structures, and Data Center Electric Utility Substations must be set back at least 500 feet from all non-participating property lines.
2. All principal buildings, accessory structures, and Data Center Electric Utility Substations must be set back at least 1000 feet from the nearest point of a habitable structure.
3. All principal buildings, accessory structures, and Data Center Electric Utility Substations must be set back at least 300 feet from the public road rights-of-way.
4. Parking lots for Data Centers shall be set back at least 100 feet from public road rights-of-way, and 500 feet from all non-participating property lines.

B. Generators. Routine generator operation maintenance is limited to Monday-Friday between the hours of 10 a.m. and 4 p.m.

1. Generators must be enclosed in order to limit sound to 70 dBA as measured 23 feet from the generator. All equipment on site must also comply with maximum sound levels at all property lines.
2. Onsite generators must meet or exceed EPA Tier 4 emission standards.

C. Battery Energy Storage Systems.

1. BESS for a Data Center shall be designed and constructed in accordance with the NFPA (National Fire Protection Association) 855 standard including as may be periodically updated.
2. The components of a BESS shall be approved with the review of a Data Center special use permit, and shall otherwise comply with the requirements of this Ordinance.
3. The system and its components and equipment shall be listed by the nationally recognized testing laboratory, UL (Underwriters Laboratories) 9540 (standard for battery energy storage systems and equipment) or

applicable nationally recognized standard with subcomponents meeting each of the following standards as applicable.

4. All applicants shall include a detailed safety plan. Such a plan shall include, but not be limited to:
 - a. Preliminary design with locations and descriptive details regarding components relating to fire prevention and detection and to explosion control.
 - b. Information regarding equipment designed for providing proper temperature control recommended for safe operation of batteries.
 5. All BESS shall be equipped with safety systems as outlined below:
 - a. Hazard detection system.
 - b. Explosion detection system.
 6. Specifically, and without limitation, BESS sound emissions shall comply with the noise requirements prescribed in this Section (Section 16.23).
- D. Height of Data Center.** Unless a different height is approved by the Township, the maximum building height of the Data Center shall be no greater than 35 feet from the ground and shall comply with design standards.
- E. Potential External/Off-Site Impacts.** Any use or activity producing air, dust, smoke, glare, exhaust, heat, or humidity in any form shall be carried on in such a manner that it is not perceptible beyond the lot or parcel line. Stormwater shall be calculated and determined to not have pre-development stormwater run-off exceed post-development stormwater run-off as determined by the County under an applicable stormwater ordinance or regulation, or as approved by the Township in review of any Data Center.
- F. Landscaping/Screening.** Landscaping and screening shall conform to the requirements of the Ordinance.
- G. Parking Requirements.** A minimum of 1 parking space per employee on the largest shift is required, plus an additional 3 visitor spaces. A minimum of one loading space is required. Loading spaces/bays are only permitted to be located on one facade of the Data Center Principal Building.
- H. Construction Codes.** The Data Center shall comply with all applicable state construction codes. The Data Center shall comply with applicable utility, Michigan Public Service Commission, as well as the Environmental Protection Agency, Department of Energy, Federal Energy Regulatory Commission and all other state and federal agency standards.
- I. Electromagnetic Interference.** Each Data Center shall be designed, constructed and operated so as not to cause radio, wireless internet, telephone (both landline and cell phone) and television interference. In the event that electromagnetic interference is experienced as a result of the Data Center, the applicant must take appropriate action to minimize such interference, and if that is not feasible, the applicant shall provide alternate service to each individual resident or property owner affected.

- J. Noise. Any noise that emanates from all activity associated with any Data Center is limited to a maximum sound level of 50 dBa during the daytime and 40 dBa at nighttime at the lot or parcel line of the premises. The Township, at its discretion, may allow for an increase to 55dBa during the daytime and 45 dBa at nighttime if the Township makes a finding that any waiver increase would not exceed the ambient noise of daytime or nighttime for any dwelling within a ¼ mile of the site. The maximum sound level in this section does not apply to:
1. Demolition work on buildings, structures, appurtenances and/or the testing of generators consistent with the requirements of any regulatory agency.
 2. Any situation arising from sudden and reasonably unforeseen events (beyond the control of the facility operator) that require the response of emergency vehicles or temporary use of emergency generators.
 3. All measurements and modeling shall be conducted in compliance with ANSI/ISO standards for outdoor sound measurements and be supervised by a qualified acoustical consultant with full member status with the Institute of Noise Control Engineering (INCE).
- K. Lighting. A lighting plan for the Data Center shall be approved by the Township. Such plan must describe all lighting that will be utilized, including lighting that may be required by the FAA. Such a plan shall include but is not limited to the planned number and location of lights, light color and whether any lights will be flashing.
1. Horizontal Surfaces. For the lighting of predominantly horizontal surfaces, such as, but not limited to, parking areas, roadways, vehicular and pedestrian passage areas, loading docks, building entrances, sidewalks, bicycle paths, and site entrances, luminaires shall be aimed down, and shall meet Illuminating Engineering Society of North America (IESNA) full cut-off/fully shielded criteria.
 2. Non-Horizontal Surfaces. For the lighting of predominantly non-horizontal surfaces, such as, but not limited to, facades, landscaping, and signs, luminaires shall be shielded and shall be installed and aimed to not project their output into the windows of neighboring residences, adjacent uses, past the object being illuminated, skyward, or onto a public roadway.
 3. Adjacent Residential Uses. The illumination projected onto a residential use shall at no time exceed 0.1 footcandle, measured line-of-sight and from any point on the receiving residential property.
 4. Adjacent Non-Residential Uses. The illumination projected from any property onto a non-residential use shall at no time exceed 0.5 initial footcandle, measured line-of-sight from any point on the receiving property.
 5. Glare. Vegetation screens shall not be employed to serve as the primary means for controlling glare. Rather, glare control shall be achieved primarily using such means as cutoff luminaires, shields and baffles, and

appropriate application of luminaire mounting height, wattage, aiming angle, and luminaire placement.

6. Luminaires. Luminaires shall not be mounted more than 20 feet above the finished grade of the surface being illuminated. No pole-mounted lighting on the roof shall be permitted.
7. Lighting After Hours. Lighting for parking areas and vehicular traffic ways shall be automatically extinguished nightly within ½ hour of the close of the facility. On/off control shall be by an astronomic programmable controller with battery or capacitor power-outage reset. When after-hours site safety/security lighting is proposed, such lighting shall not exceed 25% of the number of fixtures required or permitted for illumination during regular business hours. Where there is reduced but continued onsite activity throughout the night that requires site-wide even illumination, the use of dimming circuitry to lower illumination levels by at least 50% after 10:00 p.m. or after regular business hours, or the use of motion sensor control, shall be permitted.

L. Mechanical Equipment. Mechanical Equipment must be shown on any proposed plan and must be fully screened on all sides. Mechanical equipment not screened by a facade of the building must be screened by a visually solid fence, screen wall or panel, or parapet wall and constructed with the design, materials, details, and treatment compatible with those used on the nearest facade of the building.

M. Project Appearance and Good Repair.

1. Until project decommissioning, the owner and operator must maintain the Data Center and its components in good repair. The project component area, soundwall, and the area immediately surrounding the project, including buffer and setback areas between the project and other properties, shall be kept free of refuse, waste, and debris, and shall be neat, clean, and free of unsightly/unkept, hazardous, or unsanitary conditions including unkempt landscaping or not mowed grass areas.

N. Abandonment or Decommissioning.

1. Any Data Center which has reached the end of its useful life or has been abandoned consistent with this section of the Zoning Ordinance shall be removed. The project site must be restored to a condition substantially similar to its pre-development condition or a condition expressly authorized by the Zoning Ordinance and any property owner lease. The owner/operator shall physically remove the installation no more than 365 days after the date of discontinued operations. The owner/operator shall notify the Township and the Planning Commission by certified mail of the proposed date of discontinued operations and plans for removal.
2. Absent notice of a proposed date of decommissioning or written notice of extenuating circumstances, the Data Center shall be considered abandoned when it remains nonfunctional or inoperative to the extent that it is not used to store/transmit electric energy for a continuous period of 18 months. If the owner/operator fails to remove the installation in

accordance with the requirements of this section within 365 days of abandonment, the Township is permitted to enter the property and physically remove the installation at the owner's expense.

3. Decommissioning shall consist of:

- a. Physical removal of all structures, equipment, security barriers, concrete, and transmission lines (including underground lines) from the site. Underground components shall be removed completely and disposed of outside of the Township. Hazardous waste shall be disposed of in accordance with local, state and federal waste disposal regulations.
- b. Stabilization or re-vegetation of the site as necessary to minimize erosion and to return the site to a substantially similar condition compared to after development of a Data Center.

O. Maximum Lot Coverage. Lot coverage shall be a maximum of sixty (60%) percent except when the lot or parcel is served by municipal public water in which case the lot coverage may be increased to a maximum of seventy-five (65%) percent.

P. Conditions. The Township may impose additional reasonable conditions for the approval of a Data Center.

Q. Complaint Resolution.

1. From construction until project decommissioning, an owner or operator of a Data Center must maintain a compliant resolution process that includes a publicly available permanent phone number and contact information for residents to make complaints regarding the project related to violations of the Zoning Ordinance or any zoning approvals. Such process must include a form available to the public to submit complaints which shall also be made available online and be provided to the Township for distribution to residents. A Data Center owner or operator shall acknowledge receipt of such complaints within seven days and shall resolve complaints within 30 days unless impractical in which case the owner or operator must notify the Township and complainant of an estimated timeframe to resolve the complaint. A resolution to a complaint that will take over 30 days to address will require approval from the Planning Commission. The complaint resolution process may not require a complainant or the Township to post a monetary deposit or otherwise pay for the owner or operator to resolve or investigate a complaint. The Data Center owner or operator must notify the Township of any received complaints and resolutions to complaints on a monthly or bi-monthly basis.

R. Compliance. All Data Centers shall comply with all applicable local, state, and federal laws and regulations including obtaining any required permits.

SECTION 2. AMENDMENT TO ARTICLE V: The Howell Township Zoning Ordinance, Section 5.3 E, "RT", Research and Technology District shall be amended to add Data Centers as a special use permit.

SECTION 3. AMENDMENT TO ARTICLE II: The Howell Township Zoning Ordinance, Article II, Section 2.02 shall be amended to add the following definitions:

- A. Abandonment** - Any use that remains nonfunctional or inoperative to the extent that it is not used to absorb, store, or discharge energy for a period of 18 months will be considered abandoned and subject to abandonment and decommissioning provisions.
- B. Data Center.** A facility used primarily for the storage, management, processing, and transmission of digital data, which houses computer or network equipment, systems, servers, appliances and other associated components related to digital data operations. The facility may also include air handlers, power generators, water cooling and storage facilities, utility substations, and other associated utility infrastructure to support sustained operations at the Data Center.
- C. Data Center Substation.** A facility used for the transformation or transmission and/or switching of voltages to distribution voltages which switches circuits and distributes usable/consumable electric power, specifically for Data Center users on the same or adjacent site, or on a site immediately across a road right-of-way.
- D. Daytime.** “Daytime” means that period of a day beginning at 9:00 a.m. and ending at 6:00 p.m., each day of the week.
- E. Decibel (dBa).** A unit for measuring the volume of a sound on the A-weighted scale.
- F. Habitable Structure.** A residence, school, hospital, church, public library, business, office, store, retail establishment, or other buildings people frequently sleep in, occupy or congregate, excluding accessory structures. Generally, considered a structure occupied by humans.
- G. Nighttime.** “Nighttime” means that period of the day beginning at 6:00 p.m. and ending at 9:00 a.m., each day of the week.
- H. Noise Attenuation.** The reduction of noise levels through the use of sound-absorbing materials, architectural design techniques, and/or other suitable means.
- I. Noise Disturbance.** Any sound which annoys or disturbs a reasonable person of normal sensitivities or endangers or injures person or real property.
- J. Non-Participating Property.** Any lands that do not have an agreement with an applicant or developer to host an or participate with a Data Center.
- K. Participating Property.** Any lands that have an agreement with an applicant or developer related to a Data Center.
- L. Person.** Any individual, corporation, partnership, limited liability company, association, or other legal entity.

SECTION 4. SEVERABILITY: The provisions of this Ordinance are declared severable. If any part of this Ordinance is declared invalid for any reason by a court of competent jurisdiction, that declaration does not affect or impair the validity of all other provisions that are not subject to that declaration.

SECTION 5. REPEAL AND FORM: All ordinances or parts of ordinances in conflict with this Ordinance are hereby repealed. Further, the Township may use the content of this Ordinance and compile/insert it into the existing Howell Township Zoning Ordinance document including making any technical provision numbering or clerical revisions as necessary for the compilation. See MCL 66.3a (ability of Township to codify its ordinances).

SECTION 6. EFFECTIVE DATE: This Ordinance shall take effect seven days after publication of a notice of adoption of this Ordinance, unless referendum procedures are initiated under MCL 125.3402. If referendum procedures are initiated, this Ordinance will take effect in accordance with MCL 125.3402.

YEAS: _____

NAYS: _____

ABSENT: _____

ORDINANCE DECLARED ADOPTED.

Mike Coddington, Township Supervisor

CERTIFICATION

I hereby certify that:

1. The above is a true copy of an Ordinance adopted by the Howell Township at a duly scheduled and noticed meeting of that Township held on _____, 2025, pursuant to the required statutory procedures.
2. A summary of the above Ordinance was duly published in the _____ newspaper, a newspaper that circulates within Howell Township, on _____, 2025.
3. Within one week after such publication, I recorded the above Ordinance in a book of ordinances kept by me for that purpose, including the date of passage of the Ordinance, the names of the members of the Township voting, and how each member voted.
4. I filed an attested copy of the above Ordinance with the Livingston County Clerk on _____, 2025.

ATTESTED:

Sue Daus, Township Clerk

NOTICE OF ADOPTION
ZONING ORDINANCE AMENDMENT
ORDINANCE NO. _____

Howell Township
Livingston County, Michigan

The Howell Township adopted an amendment to the Howell Township Zoning Ordinance on _____, 2025. The ordinance amendment regulates the development and use of Data Centers in the Township and provides for zoning districts to allow the land use. The amendment will become effective seven (7) days after publication of this notice of adoption, unless referendum procedures are initiated under MCL 125.3402. If referendum procedures are initiated, the ordinance amendment will take effect in accordance with MCL 125.3402.

A copy of the ordinance amendment and the entire zoning ordinance may be purchased or inspected during regular business hours or by appointment in the Township Clerk's office located in the Howell Township Hall at 2260 S. Superior Street, Howell, Michigan 49725. The ordinance amendment contains the following catchlines: Section 1. Amendment to Article V; Section 2. Amendment to Article V; Section 3. Amendment to Article II; Section 4. Severability; Section 5. Repeal and Form; Section 6. Effective Date.

Sue Daus, Township Clerk
3525 Byron Road,
Howell, MI 48855
Tel: [\(517\) 546-2817](tel:5175462817) ext. 106
clerk@howelltownshipmi.org

Publication Date: _____, 2025

COHOCTAH TOWNSHIP

ORDINANCE NO. ____

**AN ORDINANCE TO REGULATE CRYPTOCURRENCY DATA MINING FACILITIES
AND DATA CENTERS**

The Township of Cohoctah ordains:

Section 1. Amendment to Section 2.02 of the Zoning Ordinance.

The following definitions are added to Section 2.02 of the Zoning Ordinance and shall be inserted in alphabetical order:

CRYPTOCURRENCY DATA MINING FACILITY. A facility dedicated to operating data processing equipment for commercial cryptocurrency mining and the process by which cryptocurrency transactions are verified and added to digital ledgers.

DATA CENTER. A structure that houses information technology infrastructure and equipment for building, running, and delivering applications, and the storage of digital data. This includes Artificial Intelligence (“AI”) Data Centers.

Section 2. New Section 13.30 of the Zoning Ordinance.

A new Section 13.30 entitled “Cryptocurrency Data Mining Facilities and Data Centers” is hereby added to the Township’s Zoning Ordinance, to read, in its entirety, as follows:

Sec. 13.30. - Cryptocurrency Data Mining Facilities and Data Centers

A. General Provisions.

1. Cryptocurrency Data Mining Facilities and Data Centers are permitted in the Township only as a special land use with special approval in the ____ Zoning District.
2. The Township may enforce any remedy or enforcement, including but not limited to, the removal of any Cryptocurrency Data Mining Facilities and Data Centers pursuant to the Zoning Ordinance or as otherwise authorized by law if the Cryptocurrency Data Mining Facility or Data Center does not comply with this Section.

B. Special Approval Application Requirements. In addition to the requirements of Article 13, an applicant for special approval of a Cryptocurrency Data Mining Facility or Data Center must provide the Township with all of the following:

1. An application fee in an amount set by resolution of the Township Board.

2. A list of all parcel numbers that the Cryptocurrency Data Mining Facility or Data Center will use; documentation establishing ownership of each parcel; and any lease agreements, easements, or purchase agreements for the subject parcels.
3. An operations agreement setting forth the parameters of the operation, the name and contact information of the operator, the applicant's inspection protocol, emergency procedures, and general safety documentation.
4. Current photographs of the subject property.
5. A site plan that includes all proposed structures and the location of all equipment, as well as all setbacks, the location of property lines, signage, fences, greenbelts and screening, drain tiles, easements, floodplains, bodies of water, proposed access routes, and road right of ways. The site plan must be drawn to scale and must indicate how the Cryptocurrency Data Mining Facility or Data Center will be connected to the power grid.
6. A written plan for maintaining the subject property, including a plan for maintaining and inspecting drain tiles and addressing stormwater management, which is subject to the Township's review and approval.
7. A decommissioning and land reclamation plan describing the actions to be taken following the abandonment or discontinuation of the Cryptocurrency Data Mining Facility or Data Center, including evidence of proposed commitments with property owners to ensure proper final reclamation, repairs to roads, and other steps necessary to fully remove the Cryptocurrency Data Mining Facility or Data Center and restore the subject parcels, which is subject to the Township's review and approval.
8. Financial security in the manner of an escrow account funded at \$25,000.00 with a statement that those funds are to be used pursuant to this Ordinance. The escrow fee must be deposited with the Township in cash. The applicant must replenish the escrow account if it has less than \$5,000.00 in it in the amount of estimated outstanding costs. Failure to replenish the escrow account will result in the Township suspending the processing or finalizing of the application.
9. A plan for resolving complaints from the public or other property owners concerning the construction and operation of the Cryptocurrency Data Mining Facility or Data Center, which is subject to the Township's review and approval.
10. A plan for managing any hazardous waste, which is subject to the Township's review and approval.
11. A fire protection plan, which identifies the fire risks associated with the Cryptocurrency Data Mining Facility or Data Center; describes the fire suppression system that will be implemented; describes what measures will be used to reduce the risk of fires re-igniting (i.e., implementing a "fire watch"); identifies the water sources that will be available for the local fire department to protect adjacent

properties; identifies a system for continuous monitoring, early detection sensors, and appropriate venting; and explains all other measures that will be implemented to prevent, detect, control, and suppress fires and explosions.

12. A transportation plan for construction and operation phases, including any applicable agreements with the County Road Commission and Michigan Department of Transportation, which is subject to the Township's review and approval.
13. An attestation that the applicant will indemnify and hold the Township harmless from any costs or liability arising from the approval, installation, construction, maintenance, use, repair, or removal of the Cryptocurrency Data Mining Facility or Data Center, which is subject to the Township's review and approval.
14. Proof of environmental compliance, including compliance with Part 31, Water Resources Protection, of the Natural Resources and Environmental Protection Act; (MCL 324.3101 et. seq.; Part 91, Soil Erosion and Sedimentation Control (MCL 324.9101 et. seq.) and any corresponding County ordinances; Part 301, Inland Lakes and Streams, (MCL 324.30101 et. seq.); Part 303, Wetlands (MCL 324.30301 et. seq.); Part 365, Endangered Species Protection (MCL 324.36501 et. seq.); and any other applicable laws and rules in force at the time the Township considers the application.
15. Any additional information or documentation requested by the Planning Commission, Township Board, or other Township representative.

C. System and Location Requirements. In addition to the requirements of Article XX for a site plan, the site plan must include all of the following:

1. Equipment. All equipment used in any Cryptocurrency Data Mining Facility or Data Center must be housed in a metered, electrically grounded, and pre-engineered or prefabricated metal-encased structure with a fire rating designed to resist an internal electrical fire for at least 30 minutes.
2. Structures. All principal and accessory structures used for cryptocurrency mining operations and/or data centers, shall be arranged, designed, and constructed to be harmonious and compatible with the site and with the surrounding properties. If prefabricated, pre-engineered, or modular structures are installed, the following standards are required:
 - a. All structures shall have concrete foundations.
 - b. All exterior facades shall have muted earth tone colors that will blend the facility into the natural setting and existing environment, and shall not be defective, decayed or corroded.
 - c. If intermodal shipping containers are utilized such installation shall comply with current National Electrical Code standards.

3. Lighting. The lighting of the Cryptocurrency Data Mining Facility or Data Center is limited to the minimum light necessary for safe operation. Illumination from any lighting must not extend beyond the perimeter of the lot(s) used for the Cryptocurrency Data Mining Facility or Data Center. The Cryptocurrency Data Mining Facility or Data Center must not produce any glare that is visible to neighboring lots or persons traveling on public or private roads.
4. Security Fencing. Security fencing must be installed around all electrical equipment related to the Cryptocurrency Data Mining Facility or Data Center. Such fencing must be a minimum seven (7) feet tall and must use materials, colors, textures, screening and landscaping, that will blend the facility into the natural setting and existing environment.
5. Noise. The noise generated by the Cryptocurrency Data Mining Facility or Data Center must not exceed 45 dBA Lmax, as measured at the property line of any adjacent parcel.
6. Signage. The Cryptocurrency Data Mining Facility or Data Center shall provide a 24-hour emergency contact signage visible at the access entrance. Signs shall include company name if applicable, owner/representative name, telephone number, and corresponding local power company and telephone number.
7. Underground Transmission. All power transmission or other lines, wires, or conduits from a Cryptocurrency Data Mining Facility or Data Center to any building or other structure must be located underground at a depth that complies with current National Electrical Code standards, except for power switchyards or the area within a substation.
8. Drain Tile Inspections. The Cryptocurrency Data Mining Facility or Data Center must be maintained in working condition at all times while in operation. The applicant or operator must inspect all drain tiles at least once every three years using a robotic camera, with the first inspection occurring before the Cryptocurrency Data Mining Facility or Data Center is in operation. The applicant or operator must submit proof of the inspection to the Township. The owner or operator must repair any damage or failure of the drain tile within sixty (60) days after discovery and submit proof of the repair to the Township. The Township is entitled, but not required, to have a representative present at each inspection or to conduct an independent inspection.
9. Fire Protection.
 - a. Before any construction of the Cryptocurrency Data Mining Facility or Data Center begins, the Township's fire department (or the fire department with which the Township contracts for fire service) will review the fire protection plan submitted with the application. The fire chief will determine whether the fire protection plan adequately protects the Township's residents and property and whether there is sufficient

water supply to comply with the fire protection plan and to respond to fire or explosion incidents. If the fire chief determines that the plan is adequate, then the fire chief will notify the Township or his or her designee of that determination. If the fire chief determines that the plan is inadequate, then the fire chief may propose modifications to the plan, which the applicant or operator of the Cryptocurrency Data Mining Facility or Data Center must implement. The fire chief's decision may be appealed to the Township Board, and the Township Board will hear the appeal at an open meeting. The Township Board may affirm, reverse, or modify the fire chief's determination. The Township Board's decision is final, subject to any appellate rights available under applicable law.

- b. The applicant or operator may amend the fire protection plan from time-to-time in light of changing technology or other factors. Any proposed amendment must be submitted to the fire department for review and approval under subsection (a).
 - c. The Cryptocurrency Data Mining Facility or Data Center must comply with the fire protection plan as approved by the fire chief (or as approved by the Township Board in the event of an appeal).
 - d. The Cryptocurrency Data Mining Facility or Data Center must contain an internal fire suppression system that shall be reviewed and tested once every twelve (12) months by a third-party contractor approved by the fire chief.
10. Applicant must provide all Township Fire Department contractors with the appropriate equipment and training to address fires in the Cryptocurrency Data Mining Facility or Data Center.
11. Insurance. The applicant or operator will maintain property/casualty insurance and general commercial liability insurance in an amount of at least \$5 million per occurrence. The Township shall be listed as an additional insured on the policy at all times.
12. Permits. All required county, state, and federal permits must be obtained before the Cryptocurrency Data Mining Facility or Data Center begins operating. A building permit is required for construction of a Cryptocurrency Data Mining Facility or Data Center regardless of whether the applicant or operator is otherwise exempt under state law.
13. Decommissioning. If a Cryptocurrency Data Mining Facility or Data Center is abandoned or otherwise nonoperational for a period of one year, the property owner or the operator must notify the Township and must remove the system within six (6) months after the date of abandonment. Removal requires receipt of a demolition permit from the Building Official and full restoration of the site to the satisfaction of the Zoning Administrator. The site must be filled and covered with top soil and

restored to a state compatible with the surrounding vegetation. The requirements of this subsection also apply to a Cryptocurrency Data Mining Facility or Data Center that is never fully completed or operational if construction has been halted for a period of one (1) year.

14. Financial Security. To ensure proper decommissioning of a Cryptocurrency Data Mining Facility or Data Center upon abandonment, the applicant must post financial security in the form of a security bond or escrow payment in an amount equal to 125% of the total estimated cost of decommissioning, code enforcement, and reclamation, which cost estimate must be approved by the Township. The operator and the Township will review the amount of the financial security every two (2) years to ensure that the amount remains adequate. This financial security must be posted within fifteen (15) business days after approval of the special use application.
15. Extraordinary Events. If the Cryptocurrency Data Mining Facility or Data Center experiences a failure, fire, leakage of hazardous materials, personal injury, or other extraordinary or catastrophic event, the applicant or operator must notify the Township within 24 hours.
16. Annual Report. The applicant or operator must submit a report on or before January 1 of each year that includes all of the following:
 - a. Current proof of insurance;
 - b. Verification of financial security; and
 - c. A summary of all complaints, complaint resolutions, and extraordinary events.
17. Inspections. The Township may inspect a Cryptocurrency Data Mining Facility or Data Center at any time by providing 24-hour advance notice to the applicant or operator.
18. Transferability. A conditional land use permit for a Cryptocurrency Data Mining Facility or Data Center is transferable to a new owner. The new owner must register their name and business address with the Township and must comply with this Ordinance and all approvals and conditions issued by the Township.
19. Remedies. If an applicant or operator fails to comply with this Ordinance, the Township may pursue any remedy or enforcement, including but not limited to the removal of any Cryptocurrency Data Mining Facility or Data Center pursuant to the Zoning Ordinance or as otherwise authorized by law. Additionally, the Township may pursue any legal or equitable action to abate a violation and recover any and all costs, including the Township's actual attorney fees and costs.

Section 3. Amendment to Section .

Section is hereby amended to add Cryptocurrency Data Mining Facilities and Data Centers as a special land use in the zoning district as follows:

Cryptocurrency Data Mining Facilities and Data Centers.

Section 4. Validity and Severability.

If any portion of this Ordinance is found invalid for any reason, such holding will not affect the validity of the remaining portions of this Ordinance.

Section 5. Repealer.

All other ordinances inconsistent with the provisions of this Ordinance are hereby repealed to the extent necessary to give this Ordinance full force and effect.

Section 6. Effective Date.

This Ordinance takes effect upon the expiration of 7 days after publication as required by MCL 125.3401(7).

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