

Howell Township Residential Land Use Permit Instructions

Land Use Permits are reviewed and issued by the Township Zoning Department

All projects require 3 copies of the site plan/plot plan.

Plot plans can be as simple as a hand drawn map of the property including existing structures, property setbacks, required distances between structures, including septic tanks, septic fields, and wells. and the location of the planned addition(s) to the property requiring the permit. Please review the example plot plans below.

Deck projects require 3 copies of the construction drawings, see example from Livingston County below.

New home construction and home renovations require 3 sets of 24" x 36" and 1 set of 11" x 17" construction drawings.

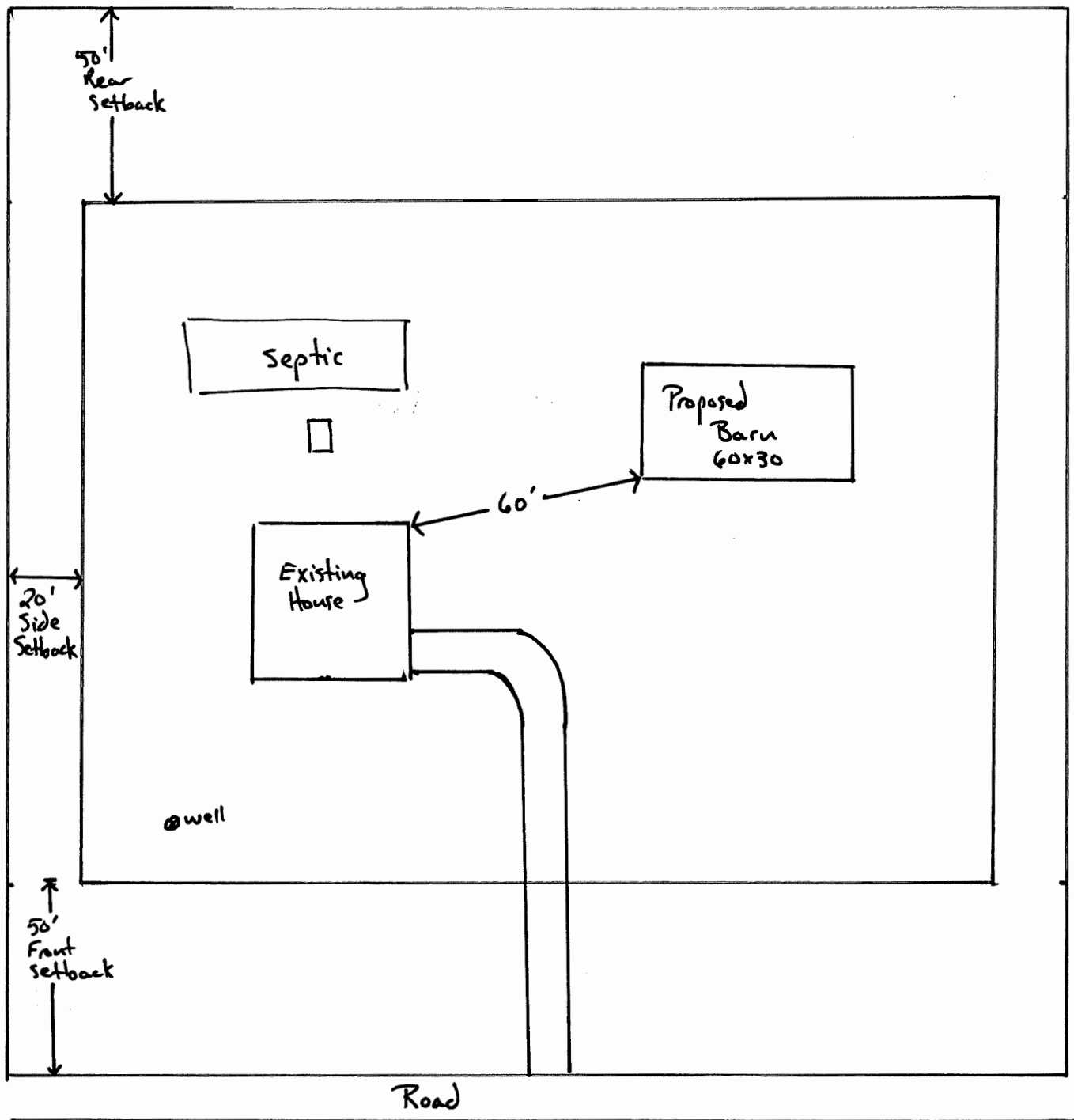
Construction drawings need to be clear and sufficient for the Livingston County Building Department including:

- Floor Plan – including all square footages of levels – 1st floor, 2nd floor, garage, bonus rooms, decks, and porches
- Front, rear, and side elevations
- Window and door sizes and placements
- Cross section detail, please review the example from Livingston County below

Prior to the Township issuing a permit the following shall have been paid in full:

1. All previously billed and past due property taxes
2. All past due special assessment installments
3. All outstanding water and sewer bills
4. All charges levied by the Township against the property
5. All fees, fines, penalties, and costs levied by the Township with respect to the enforcement of Township ordinances

Plot Plan



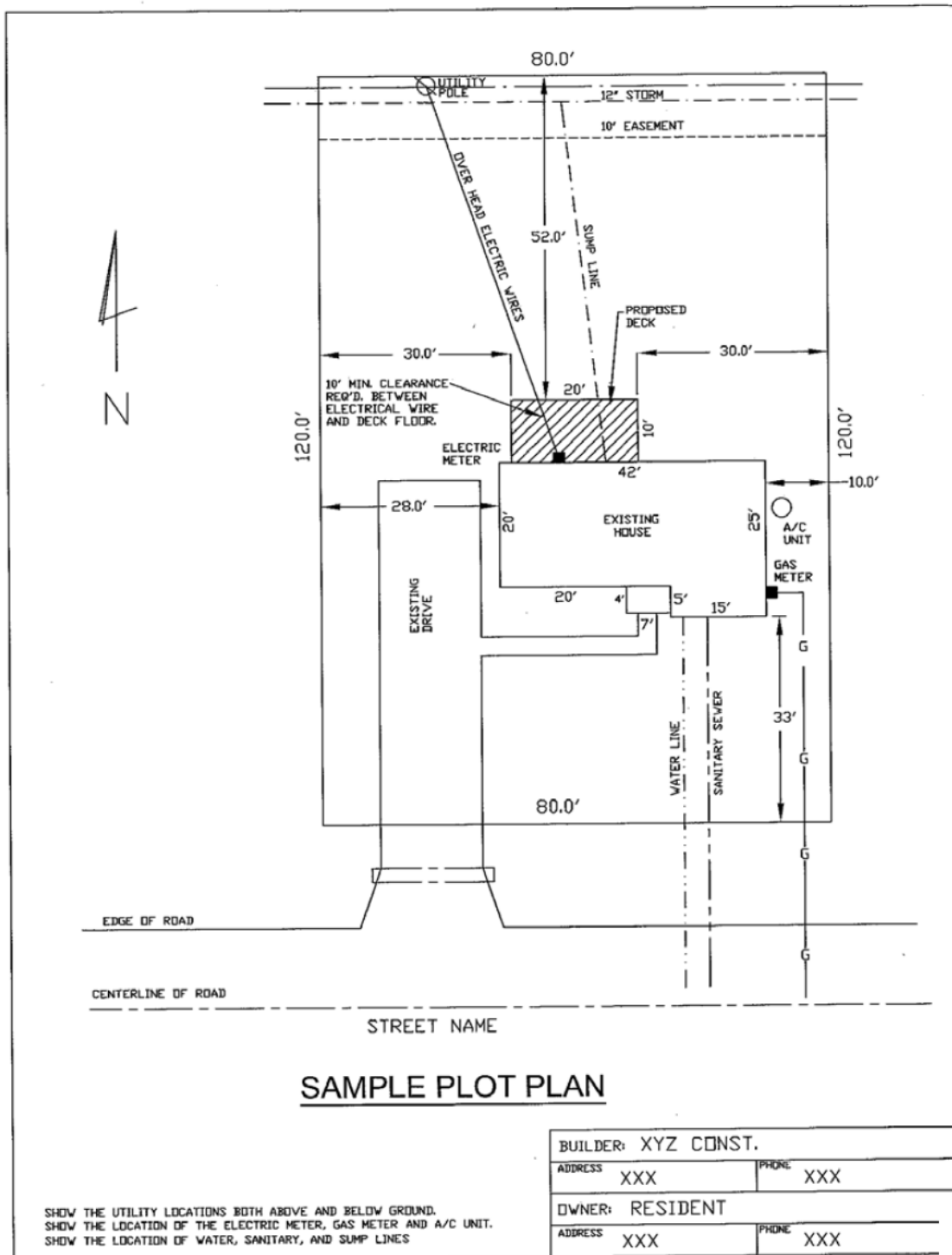
AR Zoning District

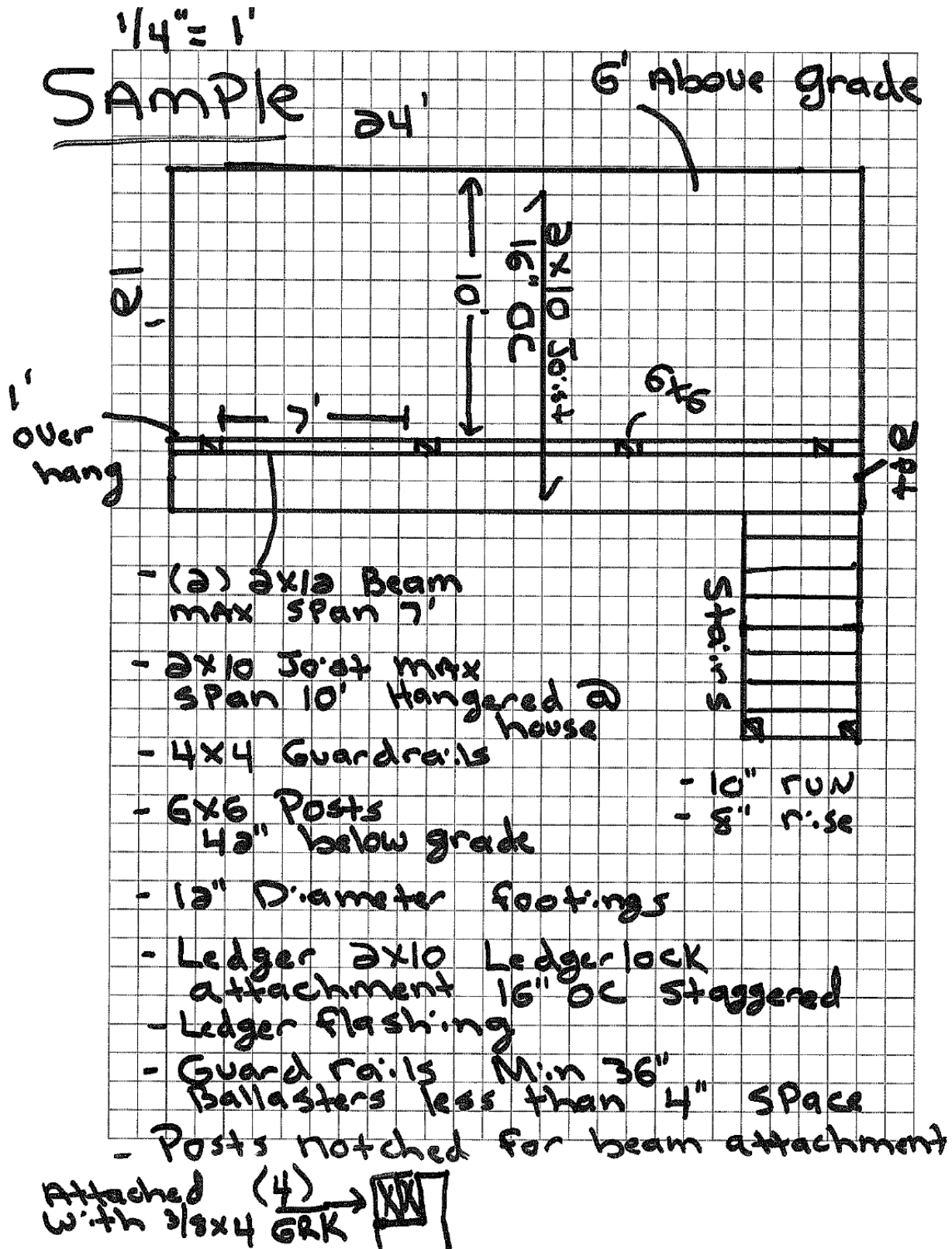
Setbacks:

Front-50'

Side-20'

Rear-50'





Sample Deck Drawing from Livingston County
Building Department

DECK FORM

HOUSE

ATTACHMENT FOR
LANDINGS, STAIRS,
ETC. R311.5.1

Decking
Size: _____

A 4" sphere cannot
pass through

WHEN
ATTACHING
BOND TO HOUSE,
FOLLOW
SECTION R507

DO NOT
PENETRATE
BRICK

PROVIDE
LATERAL
BRACING

POST AT HOUSE MUST BE TO
HOUSE FOOTING DEPTH

Footings: 42"

BEAM SIZE: _____
TOP BEARING

Joist Size: _____
Spacing: _____

Post to Post Span: _____

Post Size: _____

4"
12" Minimum

Less than 4"

Guardrail
minimum 36"

Less than 4"

Height Above
Grade: _____

Handrails: 34"- 38" measured
vertically from the nosing of the
treads. Shall be continuous the
full length of the stairs, ends
shall be returned. Circular
cross section 1 1/2" - 2"

GRASPABLE

Guardrail minimum 34" off nosing

BLOCK & SCREW OR USE
APPROVED BRACKETS ON
RAIL POSTS

A 6" sphere cannot
pass through

Grade

Rise: Max 8 1/4"
Run: 9" Min
Nosing: 3/4" - 1 1/4"
All risers will be equal
Tread 10"
No nose if tread = 11"

PLEASE FILL IN ALL REQUIRED INFORMATION

Beam/Post Connection Method and Hardware to be Used:

This section drawing is courtesy of Livingston County Building Department.
The following information should be noted on your plans.
Other information may be required as applicable to your project.

Roof requirements

Plywood clips as applicable
Roof Sheathing
Ice guard
Felt paper
Pre-engineered trusses or rafters
Hurricane Clips
Roof ventilation
Insulation values

Wall requirements

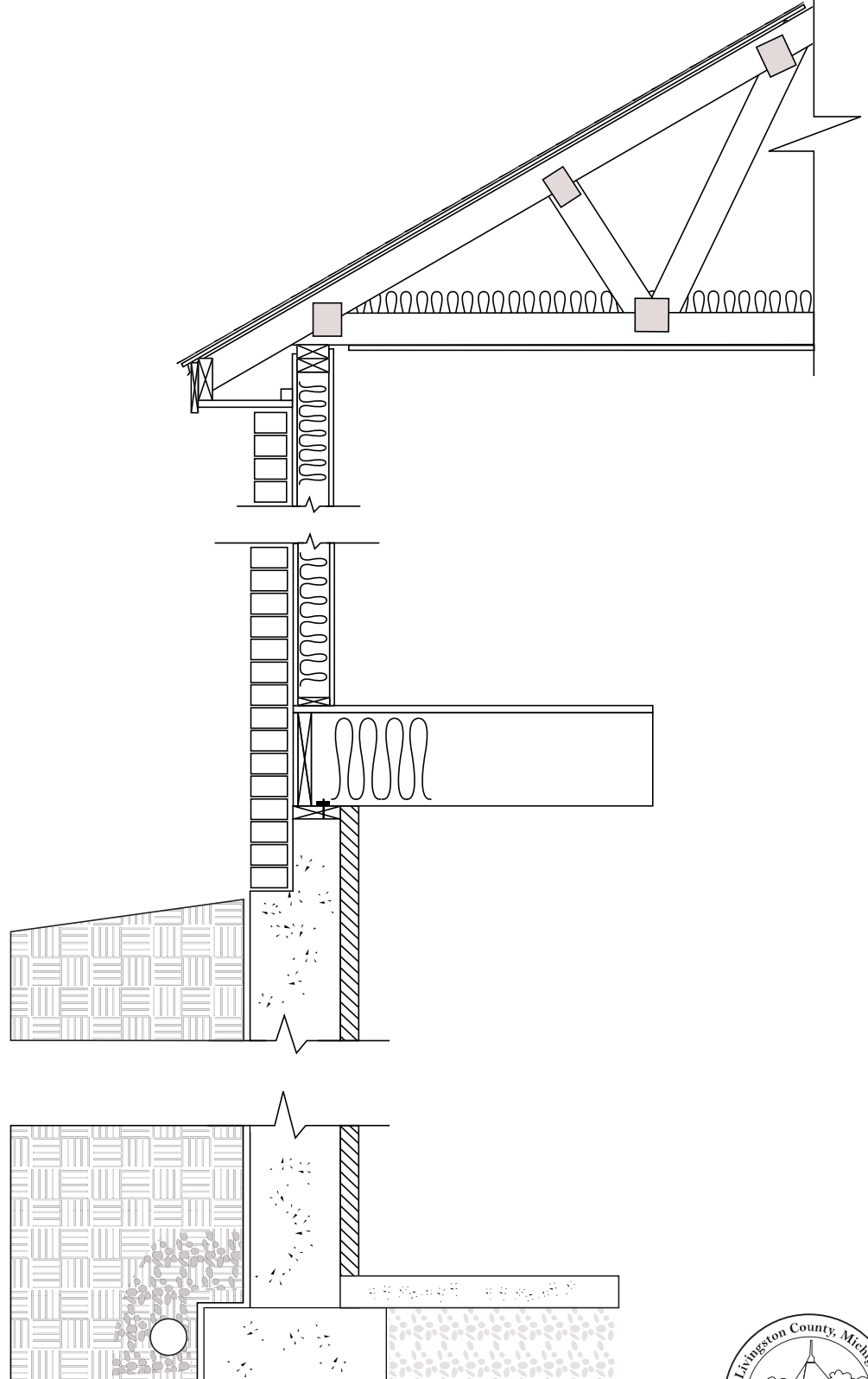
Wall finishes such as siding or brick
Wall insulation values
Wall sheathing
Vapor barrier
Brick flashing
Brick drainage

Floor Structure Requirements

Floor framing material / sizes
Floor insulation values as applicable

Foundation Requirements

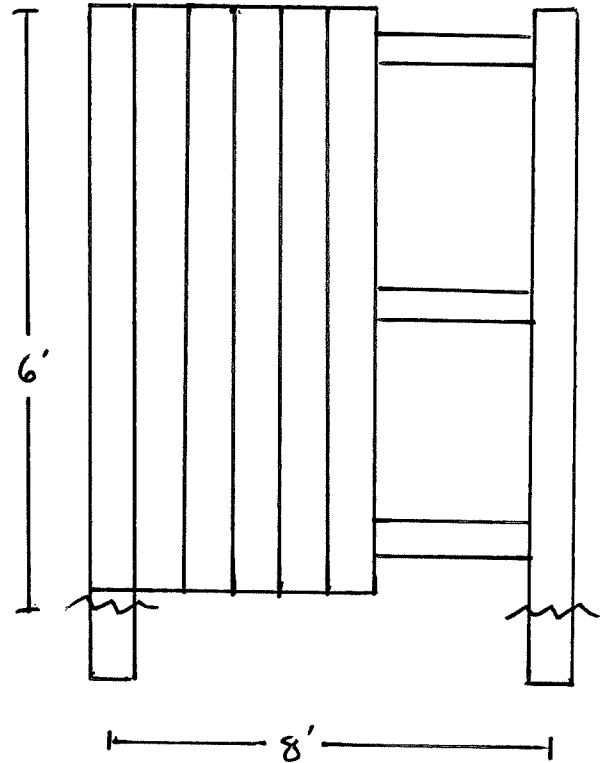
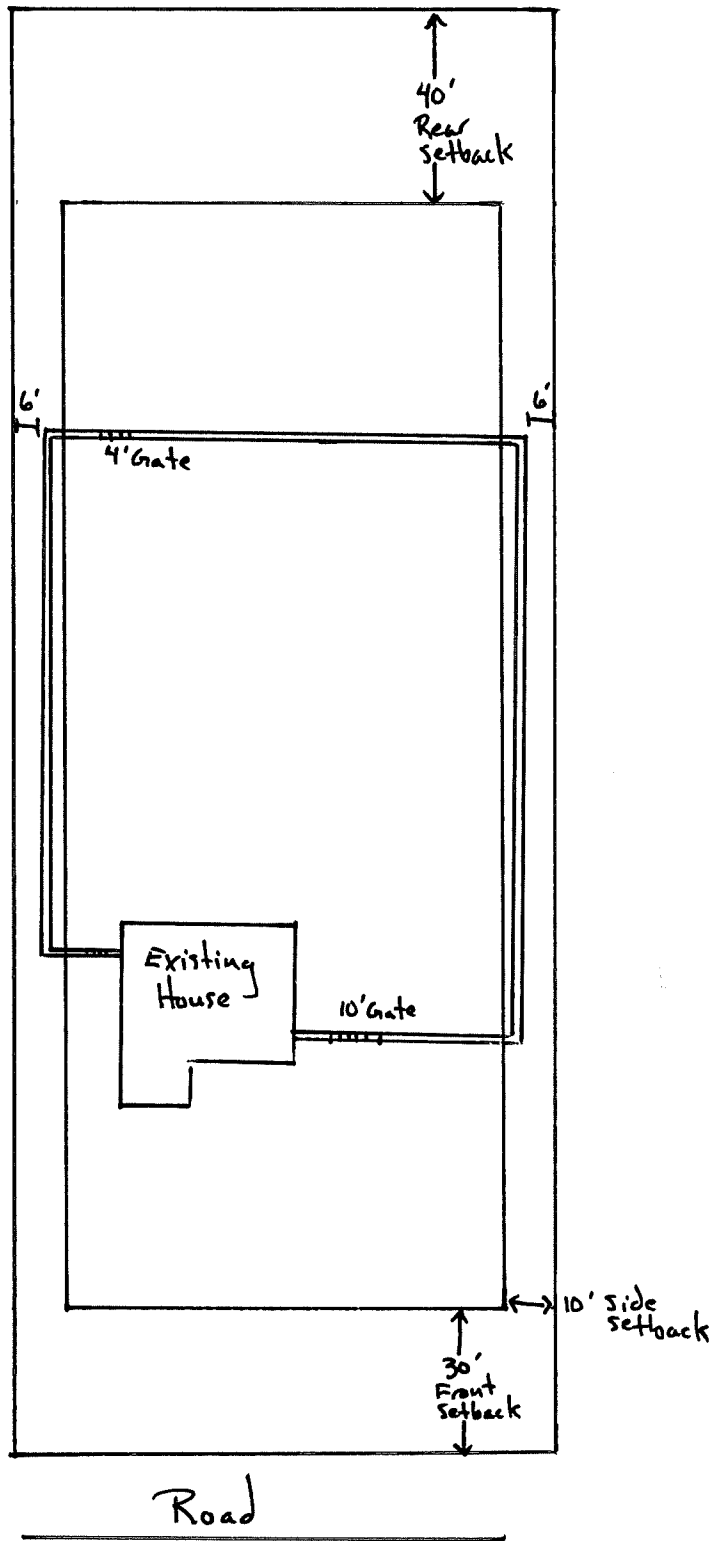
Footing type and size
Foundation type and size
Insulation values as applicable
Drain tile and sump as applicable
Damp proofing as applicable
Vapor barrier in crawl as applicable
Anchor bolts or straps
Treated wood sill



Livingston County Section Drawings



Fence Details



- 4"x4" treated posts set 8' on center
- 6' cedar boards

SFR Zoning District

Setbacks:

Front - 30

Side - 10

Rear - 40